

## Design Review Guidelines



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# Section A: Introduction

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1. History
2. Design Concept Statement
3. Definitions

# Section A: Introduction

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## 1. History

The vision from the beginning for Collier's Reserve is a true integration of a man-made environment nestled into nature. There are very few sites like Collier's Reserve where natural elevation, river frontage, and majestic natural landscaping come together in harmony. These natural amenities are what draw together a select group of homeowners who wish not only to experience nature, but to live in and enjoy that environment.

From the beginning, Collier's Reserve has been meticulously planned. One of the nation's leading planners, Edward D. Stone, Jr. and Associated, was engaged to guide the use of this piece of unspoiled land that has been in the Collier family for seven decades. The land was originally permitted for a total of 385 homes, with two areas being designated for higher density condominiums. The commitment to limit the land usage to exclusively single family residences was undertaken to achieve a more natural/less intense lifestyle for a limited gathering of families. The Result is just 224 single family residences. Over 30% of the communities 130 acres is dedicated as areas of conservation.

\*Community Map in Section "H", Appendix "D".

# Section A: Introduction

## 2. Design Concept Statement

Both Residents and builders have been dedicated to the success and quality in the development of Collier's Reserve. This dedication is reflected throughout the community by the consistency and quality of the architecture and landscape architecture, which has been implemented throughout the Community, including the clubhouse, gatehouse, the streetscape, walkways, and individual neighborhoods.

The architectural and landscape theme incorporates long standing design concepts seen throughout Southwest Florida. The rich architectural heritage of Collier's Reserve and nature, is the inspiration for each building, landscape, and amenity feature. The aesthetic nature of the Community was created by incorporating the geometries, materials, and colors indicative of Southwest Florida without copying historic methods.

The landscape, does reflect elements of the Florida Friendly Landscaping concepts (FFL) to complement the natural surroundings, architecture, and appearance of Homes in Collier's Reserve. Florida Friendly Landscaping means using low maintenance plants and environmentally sustainable practices" (Please see appendix "F" for additional information). Nature is an important element of creating the Collier's Reserve aesthetic. Native pines, cypresses, and scrub oak provide a dramatic background for flowering vines, street trees, and other details which have given Collier's Reserve the look of a cohesive Community. Garden structures such as pergolas and trellises, provide the perfect transition between outdoors and indoors and are essential elements in capturing the Collier's Reserve style.

## Section A: Introduction

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Collier's Reserve and the architecture of the individual dwellings will contribute to the overall composition of the Community. While no particular style of architecture is required, consistency with the existing overall Community concepts on massing, materials, roofing, fenestration and landscaping are required in the design, including how it fits with the overall character of Collier's Reserve and Homes. This will be considered during the design review process for all Work.

### 3. Definitions

Capitalized items used in these Guidelines shall have the same meaning as set forth in the Second Amended Declaration of Protective Covenants for Collier's Reserve ("Declaration") or as defined herein.

## Section B: Review Process

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1. Purpose
2. Design Review Procedures
3. Enforcement
4. Variances
5. Changes to plans
6. Process Summary

## Section B: Review Process

### 1. Purpose

These Design Review Guidelines (the "Guidelines") have been prepared to help Owners, architects, landscape architects, and builders understand and become active participants in the modification of Collier's Reserve to encourage design consistency and quality. It is not the intent of the Guidelines to limit or restrict creativity in the design and implementation of Improvement and Work on Homes in Collier's Reserve. The goal of the Guidelines is to coordinate the architecture and landscape within Collier's Reserve in order to create a consistent theme, quality, appearance, and character throughout the Community. These Guidelines are meant to evolve and allow the Community to stay relevant over time.

The Declaration of Covenants, Conditions, and Restrictions for Colliers Reserve (the "Declaration") and the Guidelines establish the design review process for the Community. These documents work together to govern construction, additions, renovations, landscaping, and other Work for Homes within Collier's Reserve. The Declaration and the Guidelines contain important information that all Owners should read prior to beginning new or renovation design process. In the event that there is any conflict between the provisions of these Guidelines and the Declaration, the provisions of the Declaration shall be controlling. All Owners must receive written approval before any construction activity begins.

The design review process is authorized in Article VII of the Declaration and is administered by a committee appointed to conduct design review (the Architectural Review Committee/ARC/or "Reviewer").



## Section B: Review Process

The function of the ARC is to review proposed construction, additions, renovations, landscaping and other Work within Collier's Reserve and determine whether it complies with the Guidelines. Approval by the ARC only means the proposed Work complies with the Guidelines. Review and approval of, additions, renovations, landscaping, and other Work under the Guidelines is made on the basis of aesthetic considerations only, and the Reviewer shall not bear any responsibility for ensuring (i) structural integrity or soundness of approved construction, (ii) compliance with building codes and other governmental requirements; or (iii) for any defects or deficiencies in plans submitted. The review and approval of plans by the Reviewer shall not be a substitute for compliance with the permitting and approval requirements of Collier County, or any other governmental authorities

The Owner submitting an application for construction under these Guidelines (the "Applicant") shall obtain all necessary permits, approvals and inspections required by any state, county, or local governmental entity to commence and complete the proposed construction. Additionally, the Applicant shall also be responsible for ensuring that all Improvements comply with all applicable building codes, regulations, and utility companies' requirements. The ARC shall have no liability for any injury, damages, or loss arising out of the manner or quality of construction of any dwelling.

To assist with the efficient review of proposed Work, Applicants are encouraged to meet with a representative of the ARC before any, additions, renovations, landscaping, or other Work is started. The ARC can provide valuable information about the design review process, the interpretation of the Guidelines, and potential areas of concern for the Reviewer/Applicant.

## Section B: Review Process

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The ARC may also assist in identifying what information and documentation is required to be submitted with the construction application. The ARC may offer suggestions about an Applicant's design concept.

Owners are urged to meet with the ARC as early as possible following the decision to undertake a remodel/addition/landscaping or other Work in Collier's Reserve. An appointment may be made with the ARC by calling the Home Owners Association of Colliers Reserve ("HOA") at # 239-254-0862.

A well organized and complete application can be reviewed efficiently, while an incomplete application could result in delays and requests for additional information and documentation. Each application for construction must include all required plans, documentation, information, and fees. The amount of the fees shall be set by the scope of work.

Applicants are responsible for ensuring compliance with all standards and procedures within these Guidelines. Applicants are also governed by the requirements and restrictions set forth in the Declaration, and any other applicable architectural and landscape Guidelines. In particular, Applicants should review and become familiar with the use restrictions contained in the Declaration for restricted and prohibited activities and conditions within Collier's Reserve.

## Section B: Review Process

While the Guidelines are intended to provide a framework for construction remodeling, renovations, landscaping, other Work or Improvements, the Guidelines are not all-inclusive. In its review process, the ARC may consider the quality of workmanship and design, harmony of external design with existing Structures, neighborhood and location in relation to surrounding nature, Structures, topography, and finished grade elevation, among other things. Opinions with regard to aesthetics are necessarily subjective and therefore may vary. Individual interpretations of these Guidelines and the Declaration may also vary. In every case, an application must be submitted and reviewed in order to consider specific implications of location and impact on surroundings. Each application is reviewed on an individual basis. There are no “automatic” approvals. An Applicant that wishes to construct new, add an addition, renovate, landscape do any other Work, or Improvements identical to one that has already been approved by the Reviewer, for example, will be required to submit an application and may or may not receive approval. Under no circumstances shall the Reviewer grant approval for proposed construction that is inconsistent with the Guidelines, without granting an official variance.

The ARC shall have the power but not the obligation to grant variances. Variances may be granted when deviations are requested, or required, or appropriate as determined by the ARC. The decision to grant a variance may be based upon things such as topography, natural obstructions, hardship, or environmental considerations. The ARC and the Board of Directors (“BOD”) shall have the power to grant a variance from strict compliance in such circumstances, so long as the variance does not result in a material violation of the Declaration. No variance shall be effective unless in writing and signed by the ARC.

## Section B: Review Process

Any and all modification to the exterior of the residence including the interior of screen porches or patios/cages and similar portions of a Home that are visible from outside the Structure, shall be reviewed for compliance to these Guidelines. In the event of any violation of these Guidelines, the ARC, the Collier's Reserve Association, as to new or remodeled construction may take any action authorized by the Declaration, including, but not limited to, the imposition of fines, levy of Assessments, removal or remedy of the violation, and/or injunctive relief requiring the removal or the remedying of the violation, in addition, the Enforcing Party shall be entitled to recover all costs incurred in enforcing compliance, from the party that is in violation of the Guidelines.



### 2. Design Review Procedure

The ARC evaluates all plans and materials for all Work proposed new or exterior modified dwelling in Collier's Reserve before construction begins. Prior to submitting plans for building permits, all plans must be approved by the ARC. To assist in the review process, application forms are included with these Guidelines and located in the appendix. These application forms provide the ARC with basic information needed for review and serve as a checklist for Applicants so that all exterior design elements have been considered.

## Section B: Review Process

Applications shall be tailored to the individual project in enough detail to allow the ARC to understand the scope of the project. Any questions in reference to the Guidelines should be submitted to the ARC.

STEP 1: Initial Meeting: It is recommended that Applicants schedule a meeting with the ARC to discuss the proposed construction. The Applicant's architect and builder should attend this meeting so that they are made aware of all necessary plans and documentation that must be submitted as well as the requirements of the Guidelines. Participation of key people at this point may avoid costly revisions of design concepts and plans.

STEP 2: Submit Application: An application for construction must be submitted, along with all required plans, documentation, information, and fees. Unless otherwise indicated by the ARC, one set of plans along with a digital copy of the following plans (scale 1/4" = 1' - 0" unless noted otherwise), in addition to the submission of an application (or as required for smaller modifications).

a. Site Plan: Showing a clearing and grading scheme with proposed and existing land contours; grades and flow of the site drainage system; location of existing trees/landscaping, including identification of every tree with a diameter of four inches or more measured at a height of three feet above grade and location and size of trees proposed for removal; the location or "footprint" of the proposed improvement, including setback lines, fences, retaining walls, driveways, curb cuts, walkways, fences, pools, patios, landscaping, buildings, and other Improvements. Minimum scale 1" = 20' - 0".

## Section B: Review Process

b. Floor Plan: Showing decks, patios, stoops, and retaining walls related to the dwelling, trash enclosures, HVAC equipment and utilities, and the screening for some, interior spacing of rooms, and connections to driveways and walkways. All outside elements like fountains, trellis, etc. must be clearly shown and identified on the plan along with elevations for each element.

c. Elevations: All elevations must be provided, including the front, rear, and side exterior elevations, along with all other elevations. These elevations will show building materials and finishes, and indicate the maximum height of the dwelling.

d. Roof Plan: Showing slopes, pitches, hips, and gables. A minimum roof pitch of 4 to 12 slope is required.

e. Wall Sections: Show foundation condition, i.e. stemwall, roof, overhang, fascia, decorative details, and materials. Custom single family Homes must have a minimum of 24" overhangs and 10" fascia's (unless otherwise approved by the ARC). When using a stemwall, details, must include the number of courses and finished grades for each elevation.

f. Exterior Finishes: Showing the exterior color scheme and texture (including samples and color chips), shutters, medallions, chimneys, doors, lighting scheme, and other details affecting the exterior appearance of the proposed Improvements.

## Section B: Review Process

g. Landscaping Plan: Showing planting plan and other landscape features and details including fountains, walls, walkways, courtyards lighting, and garden architecture such as pergolas, planters, trellises, and pools. The planting plan shall show the location size, species, quantity, spacing, and percentage of native plant material, (see the landscape section for this document) quality of all plant material, protection of existing vegetation and method of protection along with other planting details.

h. Other: Such other information, data, and drawings as may be reasonably requested, including, without limitation to, irrigation systems, drainage, lighting, satellite dish or solar collector placement, landscaping, screening, fences, and other features.

STEP 3: Review of Application: Every effort to provide a written response will be made to each application and plan, with a target time frame of 45 calendar days of submission, provided all materials required by the ARC is provided. Review of the application may include an on-site inspection of the Owner's Lot. One set of plans shall be returned to the Applicant, accompanied by the ARC's decision. The digital version of the plans shall be retained for the Reviewer's records. The Reviewer's decision shall be rendered in one of the following forms:

- a. "Approved" - The entire application as submitted is approved.
- b. "Disapproved" - The entire application as submitted is rejected in total. The ARC may provide comments, but is not required to do so.

## Section B: Review Process

c. “Approved as Noted” - The application is not approved as submitted, but the ARC’s suggestions for curing objectionable features or segments are noted. The Applicant must correct the plan's objectionable features or segments, and the Applicant may be required to resubmit the application to receive approval prior to commencing modification or Improvement.

STEP 4: Implementation of the Approved Plans: All Work must conform to the approved plans. If it is determined by the ARC that Work completed or in progress on any Lot is not in compliance with these Guidelines or any approval issued by the ARC, the ARC shall notify the Applicant in writing of such noncompliance specifying in reasonable detail the particulars of noncompliance and shall require the Applicant to remedy the noncompliance. If the Applicant fails to remedy the noncompliance or fails to commence and continue diligently toward achieving compliance within the time period stated in the notice, then such noncompliance shall be deemed to be in violation of the Declaration and these Guidelines. The ARC shall have the authority, but not the obligation to revoke the approval of an application if the noncompliance is not cured.

a. Time to Commence: Construction must commence within one year of the approval of an application (unless stated otherwise by the Reviewer in its approval of an application). If construction does not commence within one year, or such other time designated by the Reviewer, such approval shall be deemed withdrawn, and it shall be necessary for the Applicant to resubmit an application, and receive approval by the Reviewer, before commencing construction.



## Section B: Review Process

b. Time to Complete: Once construction is commenced it shall be diligently pursued until completion. All construction must be completed within standard time frames for the scope of work, unless the Reviewer grants an extension in writing. The Reviewer shall have the right but not the obligation to grant such an extension. If construction is not completed within appropriate time frames, or within any time frame extension granted by the Reviewer, the approval shall be deemed withdrawn, and the incomplete construction shall be deemed to be in violation of the Declaration and these Guidelines, and may be subject to any and all enforcement action provided by the Declaration or these Guidelines.

c. Changes after approval: All proposed changes to plans, including but not limited to changes that affect the exterior of any building, colors, windows, grading, paving, utilities, landscaping, or signage, made after the approval of plans must be submitted to and approved in writing by the Reviewer prior to implementation. Close cooperation and coordination between the Applicant and the Reviewer will ensure that changes are approved in a timely manner.

If Collier County, or any other authority having jurisdiction requires that changes be made to final construction plans previously approved by the Reviewer, the Applicant must notify the ARC of such changes and receive approval from the ARC prior to implementing such changes.

## Section B: Review Process

### 3. Enforcement

A representative of the ARC may conduct periodic field reviews to ensure compliance with approved plans, Design Guidelines, including the construction Guidelines, and the Governing Documents. The Applicant shall provide access to the construction site for this purpose. In the event the ARC, or its representative, determines that the construction is not consistent with the approved plans, the Applicant may be required to bring the construction into compliance with the approved plans. Another option is to resubmit a new application, fee and plans, identifying the changes from the approved plans, for review and approval by the Reviewer.

Any noncompliance will be considered a violation of the Governing Documents or restrictions affecting the Lot, and the HOA may exercise all remedies under Florida law and the governing documents for violations. Without limiting the generality of the foregoing sentence, the HOA may immediately require that all work on the property cease and desist until the violation is cured, may remove or remedy the violation, and/or seek injunctive relief requiring the removal or remedying of the violation.



## Section B: Review Process

### 4. Variances

If the Applicant determines that he/she is unable to comply with the Guidelines in the construction of his/her dwelling, then the Applicant may apply for a variance from a specific requirement of the Guidelines. Variance request shall be provided to the ARC in a written format along with appropriate information to describe the request. The burden of establishing the reasons why an Applicant cannot comply with the Guidelines lies with the Applicant. The Applicant's architect should provide reasonable assurance in the variance request submittal that the overall intent of the Design Review Guidelines will be accomplished with the Work as proposed. The decision to grant a variance is within the sole discretion of the ARC. Each variance request will be considered individually and the decision of the Reviewer to grant a variance in a particular situation does not warrant or imply that a variance will be granted in another similar situation for any other Applicant.

### 5. Changes to plans

Any change to the plans affecting the final design approval plans must be resubmitted for ARC approval. Failure to obtain approval of ARC for any and all such changes to plans prior to the commencement of construction shall be deemed a violation of these Guidelines and the Declaration of Covenants

## Section B: Review Process

### 6. Process Summary:

#### Process:

- Step 1- Initial meeting (recommended)
- Step 2- Submit application (application see Appendix)
- Step 3- ARC review of application (with a targeted response time of 45 days of the completed application)
- Step 4- Start construction
- Step 5- Final inspection

The Applicant shall notify the ARC within 15 days of completion of the dwelling. The Applicant may be required to bring the construction into compliance with the approved plans.

#### Variances:

The decision to grant a variance is within the sole discretion of the ARC. Each variance request will be considered individually and the decision of the ARC to grant a variance in a particular situation does not warrant or imply that a variance will be granted in another similar situation for any other Applicant.

#### Changes to plans after approval:

Any change to the plans affecting the final design approval plans must be resubmitted for ARC approval.

## Section C: Community Character

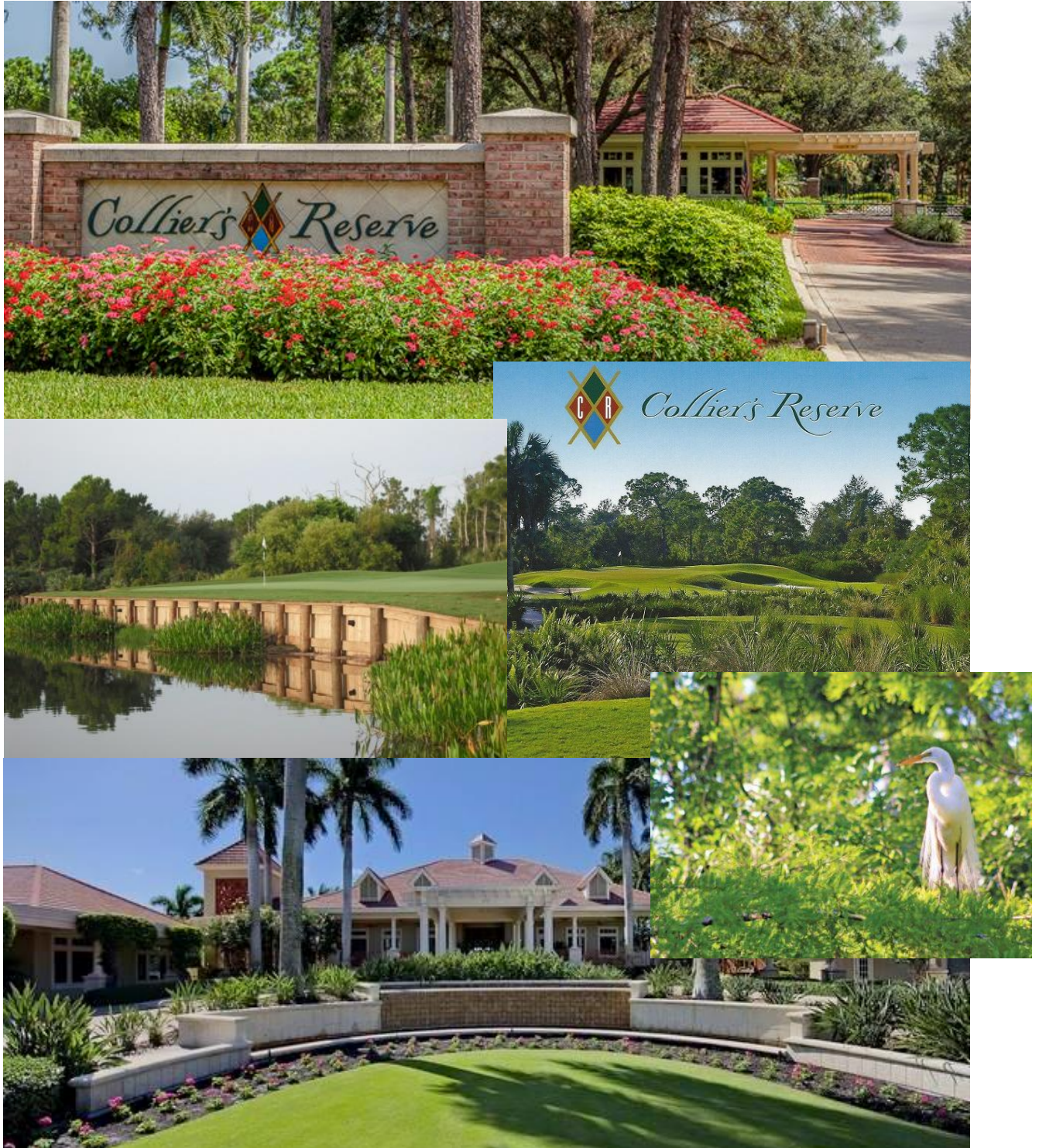
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1. Community
2. Living with Nature
3. Golfing with Nature
4. Diversity of Architecture and Form



# Section C: Community Character

## 1. Community





## Section C: Community Character

### 2. Living with Nature





## Section C: Community Character

### 3. Golfing with Nature





## Section C: Community Character

### 4. Diversity of Architecture and Form





## Section D: Site Design Standards

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1. Intent
2. Natural Preservation Buffer and Protected Species
3. Site Work
4. Miscellaneous Site Elements
5. Riverview Homesites
6. Site Summary

## Section D: Site Design Standards

### 1. Intent

The property comprising Collier's Reserve consists of several ecosystems characteristic of Southwest Florida. Freshwater wetlands, cypress forests, pine flatwoods, and oak hammocks provide a magnificent setting for a Community. It is the intent of these Guidelines to insure that these natural features be retained to the maximum extent possible. New construction shall preserve and emphasize these features through building setbacks, retaining existing trees, and supplemental landscaping.

### 2. Natural Preservation Buffer and Protected Species

One of the primary goals of Collier's Reserve is to minimize the disturbance to existing ecological systems and to preserve the site's unique existing vegetation. To this end a Natural Preservation Buffer has been established on each Lot to:

1. Protect vegetation and emphasize the existing character of the site.
2. Reduce the amount of cleared or disturbed site area thereby minimizing soil erosion and sedimentation.
3. Improve filtration and dissipation of stormwater runoff creating better site water quality.
4. Reduce future irrigation, fertilizer, pesticide, and other landscape maintenance costs.

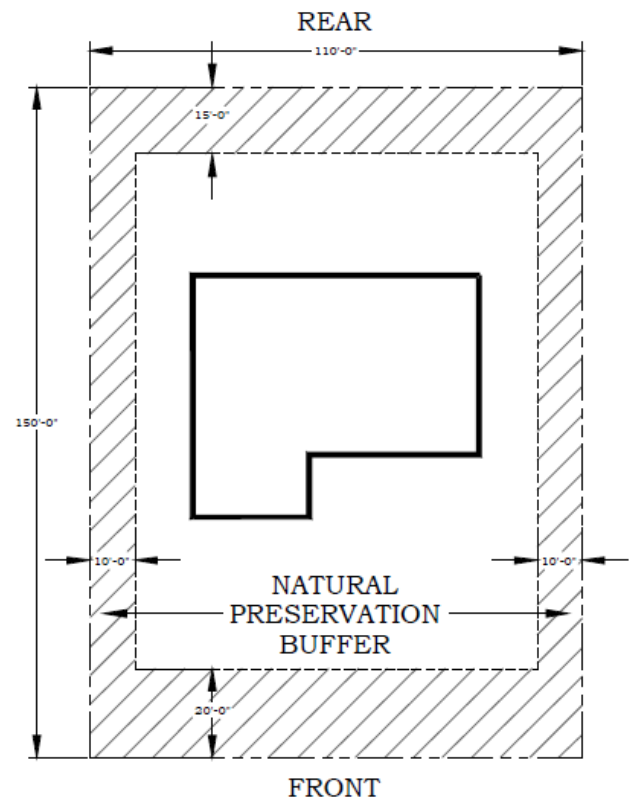
## Section D: Site Design Standards

### Homesite/Lots:

The boundaries of the Natural Preservation Buffers on individual Lots consist of:

The first 20' of the front property line, 15' of the rear property line and 10' of the side property lines.

No clearing, disturbance of existing native vegetation, or Structures of any type, shall be permitted in the Natural Preservation Buffer, except as herein specified. No equipment storage, material storage, or parking shall occur within the Natural Preservation Buffer.



### Buffer Conservation Easements:

Buffer Conservation Easements as indicated on the Lot, located within individual homesites shall be maintained undisturbed (with the exception of exotic vegetation removal) and at natural grade. Physical markers (1"x 2" wooden stakes with yellow ribbon attached to the top) denoting the preserve status of the conservation easement must be located at the intersection of each homesite line and the buffer.

## Section D: Site Design Standards

### **Construction Fencing:**

Prior to any form of site clearing, a 1" plastic orange marking tape shall encompass the Natural Preservation Buffer.

This tape fence shall be installed with a minimum of 2" x 4" pressure treated wooden stakes at a minimum of 2'-0" penetration. The spacing of the stakes is not to exceed eight feet (8'-0").

Upon completion of site clearing, a four (4'-0") foot orange, green, or black polyethylene fence, manufactured by New Path Corporation of Palm Harbor, Florida, or equal shall be installed along the four (4) interior boundaries of the Natural Preservation Buffer. This barrier must be maintained in good condition until construction is complete. After construction is complete, the four foot (4'-0") barrier shall be removed.

### **Permitted Disturbance of Natural Preservation Buffer:**

Existing vegetation to remain in the Natural Preservation Buffer must be selectively pruned to remove dead or dying branches, eliminate vines, and insure the proper health, form, and function of the native species. Weeds and debris may be removed from the Natural Preservation Buffer providing existing native vegetation remains undisturbed. All exotic and invasive species such as Brazilian Pepper, Melaleuca, and Australian-Pine shall be removed throughout the homesite, including within the Natural Preservation Buffer.

Ongoing prevention of exotic species is also required. Any tree within the Natural Preservation Buffer which is damaged by the builder or homesite Owner shall be replaced with same or similar species and size.

## Section D: Site Design Standards

In the event of damage to a large tree which cannot be replaced on an equal basis, smaller but still substantial trees (3 1/2" min. caliper) must be used as replacements.

Trees within the Natural Preservation Buffer that show the effect of damage caused by construction vehicles shall also be replaced by the builder or homesite Owner based on the criteria above.

The following Natural Preservation Buffer disturbances are permitted under the conditions that the clearing is executed in the least destructive manner and that any disturbances be approved by the ARC:

1. Clearing of the Natural Preservation Buffer that permits driveway accesses to a homesite.
2. Selected pruning to the Natural Preservation Buffer that creates a pedestrian access to docks that have been permitted by applicable regulatory agencies.
3. Limited clearing in the Natural Preservation Buffer in order to create critical viewsheds and sightlines to natural features.
4. Sewer lines are permitted in the Natural Preservation Buffers, but are to be located in areas least destructive to natural vegetative stands.
5. In order to create a meandering line of transition between the Right of Way, and the Natural Preservation Buffer, sod may be expanded into the Natural Preservation Buffer on a limited basis if the Natural Preservation Buffer is extended into the Right of Way.

## Section D: Site Design Standards

### **Protected Species:**

A protected plant and animal species survey shall be conducted on each homesite as deemed appropriate by the Owner's Landscape Designer and/or if required by applicable regulatory agencies, and the results submitted as part of the Design Review Process.

### **3. Site Work**

#### **Site/Tree Preservation:**

A general site and tree survey at a scale of 1"=10'-0" is required to be submitted as part of the Design Review Process unless waived by the ARC.

The survey shall depict the locations of all property, Right of Way, and easement lines, existing lot grading in one foot contour intervals plus critical spot elevations, existing vegetation and other natural and manmade features which may affect the site development process.

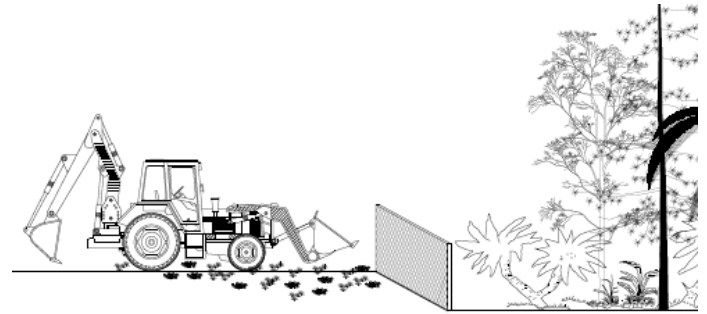
#### **Tree Preservation, Relocation and Clearing:**

Every effort shall be made to preserve as many existing native trees as possible. The builder or homesite Owner shall comply with Collier County's - Tree Preservation Ordinance and other applicable and successor ordinances. Special measures such as tree wells, retaining walls, drain fields, etc. shall be employed where grade changes are required close to existing trees.

## Section D: Site Design Standards

The tree survey shall be used as an aid in developing building site plans. Tree preservation shall be a high priority in siting of buildings, driveways, walkways, and other site elements.

Final contract documents must clearly delineate trees to be preserved and limit of disturbance line around those trees. The limit of disturbance line shall be cross referenced with all aspects of the development such as utilities, grading, layout, erosion control, etc. No grading shall take place within the dripline of trees to be preserved.



PROTECT EXISTING VEGETATION WITH  
ADEQUATE FENCING

The limit of disturbance line must be protected with fencing, conspicuous and high enough to be seen by equipment operators. Fencing, as described on page 28, must be installed far enough from the tree to prevent compaction and puddling over the root system and large enough to include the area within the tree's dripline.

When existing vegetation must be disturbed, transplanting of native vegetation to other appropriate locations on the site is encouraged. To be successful, proper equipment including a tree spade or other appropriate methods for relocating large trees, and experienced handlers shall be employed. Species characteristics, tree size and condition, time of year, suitability of the transplant site, and post installation maintenance shall all be taken into account. Consultation with local specialists in this process is recommended to ensure the most successful and cost effective process.



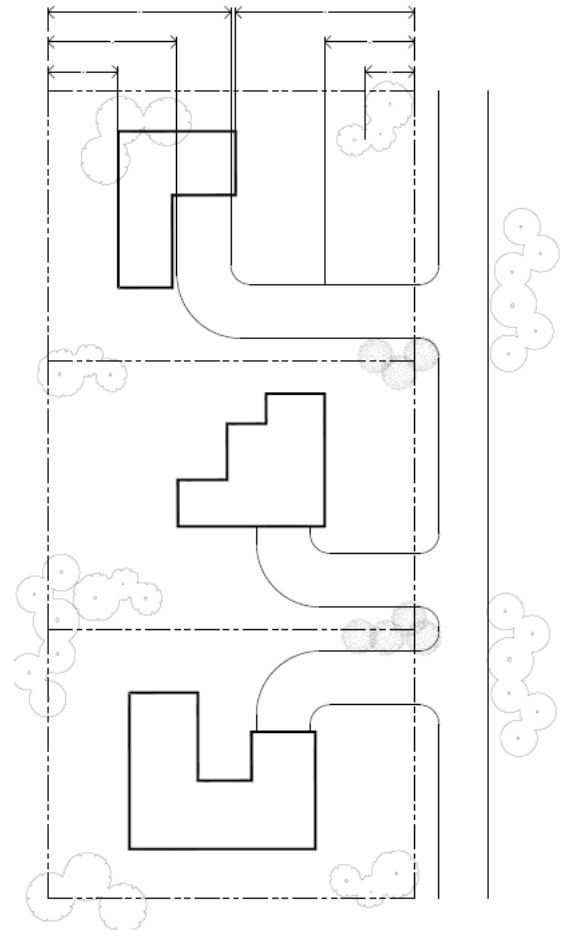
## Section D: Site Design Standards

### Building Siting:

Special care was taken in the planning of Collier's Reserve to maximize the project's orientation to the site's natural amenities, preserve existing native vegetation, and maintain a delicate balance between the built and the natural environment. This philosophy shall be maintained through the siting of Structures and individual homesites.

Work shall be sited and oriented to take advantage of the abundant views to site amenities and open spaces. View orientation towards other Homes shall be avoided. Homes shall also be sited to take advantage of energy conservation opportunities such as passive solar heating/cooling, prevailing breezes, etc., and water conservation opportunities.

Wherever possible, individual building footprints shall be staggered along golf course corridors and road Right of Way's to prevent a regimented and monotonous street or golf-scape.



**STAGGERED BUILDING SETBACKS  
PROVIDE VARIETY ALONG STREET  
AND ALONG REAR LOTS.**

### Structure Orientation/Siting:

The orientation of the dwelling shall take into account the existing native vegetation, shape of the lot, solar orientation, and adjacent Structures.

## Section D: Site Design Standards

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Wall enclosures may be used to enhance privacy by reducing noise and visual intrusions. Fencing shall be used to screen or buffer private areas, not to enclose an entire Lot or major portion of a Lot. Fencing materials, shapes, and colors shall be compatible with the materials of the residence. The Reviewer must approve materials, design, and location of fencing. Privacy walls may not extend into building setback areas, unless approved in writing by the Reviewer.

All air conditioning units, pool equipment, generators and garbage containers must not be readily visible from any adjacent areas. This equipment shall be placed on the side of the Home and not forward of the residence. An enclosure (i.e. landscaping) must be installed around these facilities to match the design of the residence or the landscaped surroundings.

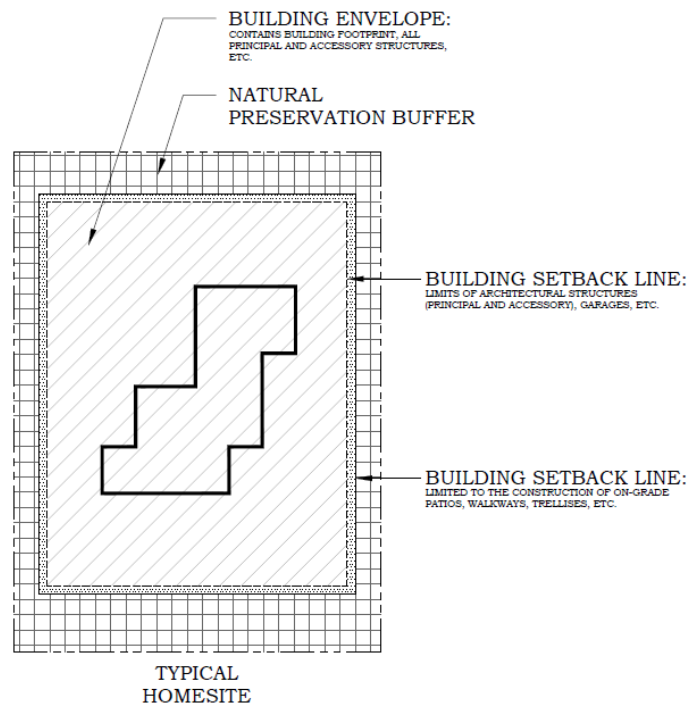
A side-entry garage, for at least two cars is required, along with two uncovered spaces for parking outside the garage. A front entry garage is not permitted.

No driveway shall be closer than ten feet (10'-0") to the side property line unless specifically granted a variance by the Reviewer. Newspaper tubes and driveway reflectors are not permitted.

## Section D: Site Design Standards

### Building Envelope:

Within the interior buildable portion of a homesite, which remains after the Natural Preservation Buffer has been delineated, the builder or homesite Owner shall locate a single contiguous building envelope. The building envelope is the area in which all principal and accessory structures including the main house, guest house, garage, pool and pool enclosure or deck, entry courts, verandas, terraces, and stemwall must be located. Building overhangs of 2'-6" maximum are permitted outside of the Building Envelope.



The configuration of the building envelope in general shall be angular, but may vary providing the front, side, and rear yard slopes do not exceed 3:1 and exposed stemwall do not exceed thirty-six (36") inches in height.

## Section D: Site Design Standards

Upon siting the building envelope various setbacks shall be delineated related to the elevation of the building pad and natural grade. (See page 27). By using these setbacks, a building setback shall be determined. The area between the Natural Preservation Buffer and the building setback line shall be limited to the construction of on-grade patios, walkways, garden features such as trellises, pathways, ponds, fountains, etc. Stem walls are not permitted within this setback area, and slopes shall not exceed 3:1. Landscape material will be required with the Building envelope, excluding the building footprint, accessory structures, and in the setback area (See page 68-69 for more information on Accessory Structures).

The size, location and configuration of the building envelope may exceed the following minimum setbacks based upon the maximum allowable yard slopes and maximum stem wall heights. Maximum yard slopes and maximum stem wall heights shall establish setbacks, however in the following categories of natural grade to finish floor conditions, the setbacks shall not be less than the stated minimums.

### 1. First Finished Floor 0'-3'.0" above natural grade:

- Minimum ten (10') feet setback from front yard Natural Preservation Buffer.
- Minimum five (5') feet setback from rear yard Natural Preservation Buffer.
- Minimum five (5') feet setback from side yard Natural Preservation Buffer.

## Section D: Site Design Standards

Homes within this category may be constructed with stem walls. However, this decision will be reviewed by the Committee and, if appropriate, permitted by the Committee for construction.

### 2. First Finished Floor 3'-1"-6'-0" above natural grade:

- Minimum fifteen (15') feet setback from front yard Natural Preservation Buffer.
- Minimum nine (9) feet setback from rear yard Natural Preservation Buffer.
- Minimum ten (10') feet setback from side yard Natural Preservation Buffer.

Stem wall construction is recommended in this category.

Where the differential between First Finished Floor and natural grade exceeds 4'- 0" the building envelope shall be carefully sited to allow for split level garages and customized entry courts, foyers, and porches which create a comfortable transition in elevation between the driveway and the interior living spaces.

### 3. First Finished Floor over 6'- 1" above the natural grade:

- Minimum twenty (20'- 0") feet setback from front yard Natural Preservation Buffer.
- Minimum fifteen (15'- 0") feet setback from rear yard Natural Preservation Buffer.
- Minimum fifteen (15'- 0") feet setback from side yard Natural Preservation Buffer.

## Section D: Site Design Standards

Custom Building features such as split level garages, entry courts, foyers, porches, etc. are essential to provide a comfortable transition in elevation between the driveway and interior living spaces.

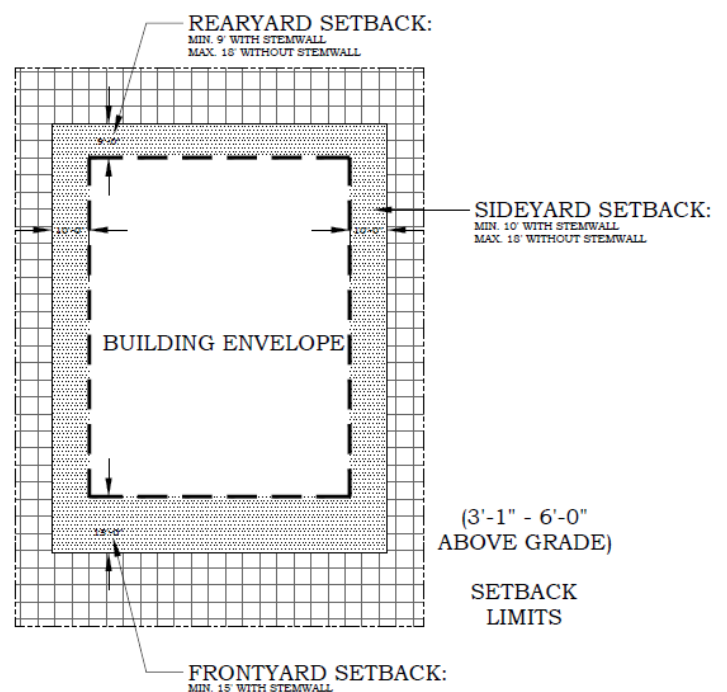
### Building Footprint:

The minimum size of the air conditioned building footprint for a single homesite shall be 3,000 Square Feet (S.F.). Although there is no maximum for the building footprint, special attention shall be given to scale. The ARC shall review each potential Home to make sure that an appropriate scale is achieved.

Easements- No permanent Structures shall be placed in any easement.

### Foundation and Fill:

Building foundations shall be slab on grade, stemwall, or pier style foundations of thirty-six (36") inches in height or less, taller pier style construction is permitted, providing it meet the criteria established in the Riverview Homesite section (Page 45-46 and Appendix "E"). Consistent with the project's goal to minimize site disturbance and preserve existing vegetation, the placing of site fill material shall be kept to the minimum necessary to meet required first finished floor elevations and make yard areas usable.



## Section D: Site Design Standards

Stemwall (maximum thirty-six (36") inch exposed) and custom building features such as split level garages, entry courts, foyers and porches shall be used to reduce grading and subsequent loss of vegetation.

### **Grading:**

Grading shall be kept to a minimum and alterations to existing drainage systems- both natural and man-made are not permitted. Site grading shall be done in such a way as to preserve and enhance natural site features and to provide positive drainage.

Any necessary grading shall maintain a natural appearance, producing graceful contours, not sharp angles, and smooth transitions at the head and toe of slopes.

Stem or retaining walls may be used to reduce the area needed for grading or to preserve vegetation, however, these walls must be consistent with the facade treatments, materials, and color of the house and be well integrated into the site design. Siltation control shall be provided to protect lakes, roadways, construction areas, and adjoining properties both during and after construction.

Where landscape mounding or earth contouring is required, smooth transitions with soft natural forms are desired. Trees shall not be planted directly on top of mounds.

### **Drainage Systems:**

Each homesite shall be individually analyzed to determine the drainage requirements to protect the Natural Preservation Buffer and other property in Collier's Reserve.

## Section D: Site Design Standards

The following grading standards shall apply to site development:

<b>Condition</b>	<b>Max.</b>	<b>Min.</b>
<b>Driveways</b>		
Slope along curb	5%	1%
Cross slope	3%	1%
<b>Pedestrian Sidewalks</b>		
Paths	8%	1%
<b>Decks/Patios</b>		
Concrete	2%	1%
Pavers	2%	1%
<b>Swale-Side Slope</b>		
Swale	10%	2%
<i>(slope may be steeper as 3:1 in vegetated areas)</i>		
<b>Longitudinal Slope of Swales</b>		
Grass invert	8%	1%
Paved invert	12%	5%
<b>Lawn Areas/Mowed Grass</b>		
Embankment 3:1		
<b>Steep Embankments</b>		
All slopes steeper than 3:1 will require erosion control		



## Section D: Site Design Standards

*\*All handicapped ramps must comply with state, local, and federal handicap standards.*

### **Driveways:**

Driveways shall be required to access garages from the side.

A circular driveway may be considered by the ARC under the following conditions:

1. A homesite with a minimum front width of 125 feet.
2. A homesite not abutting another homesite on one side.
3. A corner homesite.

For consideration, the homesite Owner will be required to provide the ARC with accurate and detailed design documentation which illustrates driveway layout, finishes, and dimensions. The landscape plans for sites with circular driveways will be required to provide additional planting both within the Natural Preservation Buffer and front yard of the homesite. The ARC must conclude that the (proposed) landscape design will enhance the privacy and character of both the site and the Collier's Reserve Community.

Each homesite shall have only one (1) driveway access corridor entering from the adjacent roadway. Unless a circular driveway is permitted consistent with the projects emphasis on tree preservation clearing within the front Natural Preservation Buffer. This access shall be limited to a twenty (20'- 0") foot wide corridor.

## Section D: Site Design Standards

The remaining disturbed areas within the buffer, after construction of the driveway surface, must be replanted with landscape material native to the Collier's Reserve Environment and the adjacent Natural Preservation Buffers. Driveways shall be between ten (10') and twelve (12') feet wide and must meet the roadway with a ten foot (10') minimum radius at each corner. Guest parking for a minimum of one (1) guest car without stacking shall be provided with the driveway design. Guest parking areas must be visibly screened from the roadway with landscape planting.

Driveways, turnarounds and guest parking areas shall be constructed with high quality materials such as, concrete pavers, brick, stone, etc. Paved areas shall be minimized in size to reduce local air temperatures and reflected light and heat. The material(s) and color(s) of the driveway surface shall be closely coordinated with the material(s) and color(s) of the adjoining residence facades, wall, walkways, etc. Asphalt, plain concrete, and shell driveways are not allowed.

Driveways shall be designed and constructed with raised soldier coarse edges to carry surface rain and roof run off water to roadway valley gutter.

### **Walkways:**

Primary walkways on individual homesites shall be three feet (3') minimum in width and constructed of a consistent hard surface material such as concrete, concrete paver, brick, or stone. Secondary walkways, in side and rear yards only, may consist of stepping stones or soft surface materials with appropriate edging.

## Section D: Site Design Standards

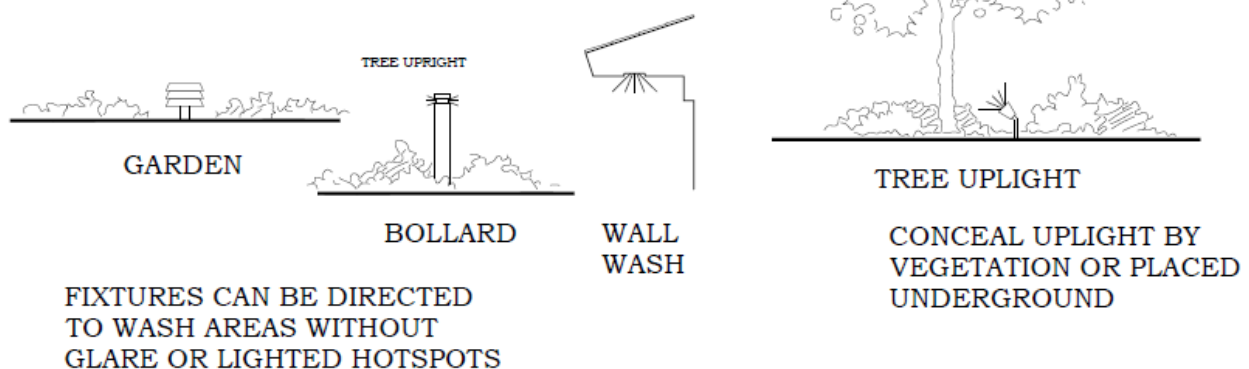
### Site Lighting:

In general, site lighting shall be low glare lighting designed and compatible with the upscale image of Collier's Reserve. All lighting fixtures on a given homesite shall be from the same family of fixtures with regard to design, materials, color of fixture, and type of light source. No plastic fixture allowed.

Exterior lights shall only be used to accent entrances and special features, driveways, parking, and pedestrian walkways. Light intensity shall be no greater than the minimum required for automobile and pedestrian safety. Energy efficient lighting is required where practical. Architectural flood lighting of buildings shall only be permitted with the approval of the ARC.

A single pole-mounted yard light shall be permitted in each homesite in the front portion of the Building Envelope. Any exterior house lighting, for security or aesthetic purposes, shall be kept close to the house. Light fixtures shall be carefully oriented to avoid directing unwanted light towards adjacent properties and the adjoining street with the exception of motion activated security lighting.

### EXTERIOR LIGHTING



## Section D: Site Design Standards

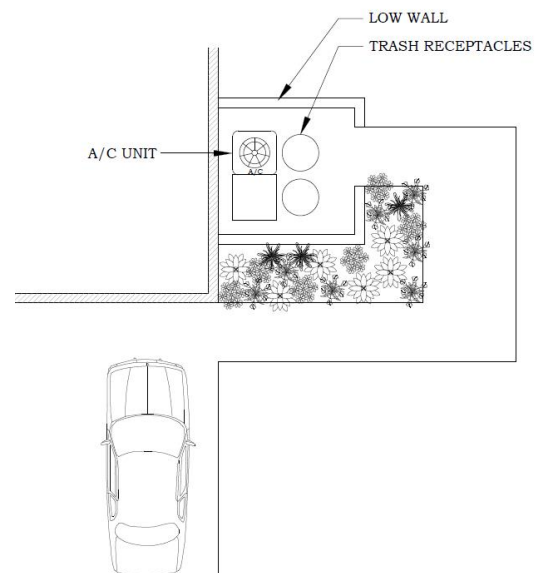
Light sources may be of a concealed type or ornamental visible type. The design and style of poles, bollards, and fixtures shall be consistent and complementary to the architecture and sitework design and shall be subject to approval by the ARC. Wherever possible, “cut-off” luminaire lighting design shall be used to avoid glare on adjacent properties. Up-lighting of trees and fountains, accent lighting of shrubs and entrances, and silhouette lighting may be used to create special effects in selected areas. No site lighting of any type which requires excavation or disturbance to the plants within the Natural Preservation Buffer shall be permitted. All exterior lighting shall have a photo cell that turns lights on and off.

Lamp types will be evaluated on the basis of color for compatibility. Colored, moving or flashing or flashing lights are not permitted except for holidays. Only “White” lights are allowed.

Building mounted lighting is discussed in section “E” page 73.

### Refuse Containers:

Refuse containers shall be stored inside garages or utility rooms, or in a side or rear yard location, which is screened from view by walls, fences, landscaping, etc. Refuse containers may not be placed in the front yard except on actual collection days. Refuse containers shall be covered, and no garbage bags shall be placed at street side. Recycle containers shall be stored in the same manner as refuse containers.



## Section D: Site Design Standards

### 4. Miscellaneous Site Elements

#### Signage:

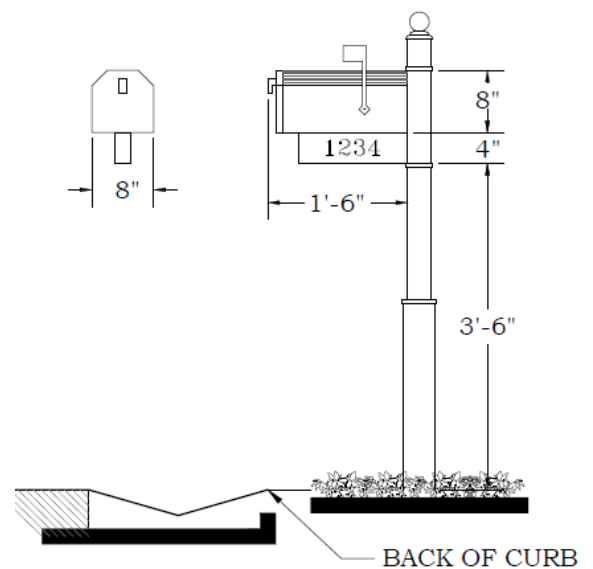
No free-standing or building-mounted signage is permitted on homesites within Collier's Reserve. Unit identification shall be achieved via house numbers on the main Structure and/or mailbox. Signage is further restricted by the terms of the Declaration.

#### Flagpoles:

Flags may be mounted on the front facades of houses utilizing wall mount brackets or free standing. Flags shall be residential in scale and in scale with the surroundings. Each homesite shall be limited to one (1) flag and one (1) flag pole per homesite at any given time unless otherwise approved by the ARC. The display of flags is limited by the terms of the Declaration.

#### Mailboxes (Provided/maintained by the HOA):

Residential mailboxes, including posts, shall be uniform throughout Collier's Reserve.



TYPICAL MAILBOX & POST DETAIL

## Section D: Site Design Standards

### 5. Riverview Homesites (see appendix “E” for list of homesites)

Riverview Homesites are those homesites, which because of their relationship to the Cocohatchee River and unique site conditions, require special design attention. Riverview Homesites shall designate and preserve the same Natural Preservation Buffer as other homesites (please refer to the Natural Preservation Buffer section Page 26).

Building envelopes on Riverview Homesites shall conform to the maximum size and configurations described in the Building Envelope section (Page 34).

The spectacular views and unique grading constraints of the Riverview Homesites may lead builders and homesite Owners to consider column or pier (“stilt”) style foundations as a means of maximizing views and minimizing site disturbance. Column or pier style foundations are permitted on Riverview Homesites with approval by the ARC.

When used, column or pier style foundation buildings on Riverview Homesites shall therefore be subject to additional site development, architectural and landscape requirements as follows:

1. Additional setbacks may be required to physically separate the column or pier style house from adjoining homesites.
2. The front Building Envelope of the column or pier style house shall be graded and customized with split level garages, entry courts, foyers, and porches to allow the street side architectural elevation to be similar to a slab on grade or stem wall style house.
3. Areas below the required first finished floor elevation shall receive facade treatments, materials, and colors consistent and complementary to those of the main Structure above.

## Section D: Site Design Standards

4. The grade transition from the front yard to rear yard shall be softened through the use of custom retaining or stem-walls, landscaped banks, etc. so that the side architectural elevations do not appear abrupt or contrived.
5. Additional landscape and native buffer plantings may be required along the side or rear yard zones to visually separate the column or pier-style house from adjoining homesites and the golf course, lakes, or Community open space.

### 6. Site Summary:

#### Tree and Buffer Preservation:

- All construction, renovation, landscaping, and Work, shall preserve and emphasize these features through building setbacks, retaining existing trees and supplemental landscaping.

#### Building Siting:

- Buildings shall preserve existing native vegetation, when possible and maintain a delicate balance between the built and the natural environment.



## Section D: Site Design Standards

### Natural Preserve Buffers:

- Natural preserve areas are as follows: first 20'- 0" of the front property line, 15'- 0" of the rear property line and 10'- 0" of the side property lines.
- No clearing, disturbance of existing native vegetation, or Structures of any type shall be permitted in the Natural Preservation Buffer (unless provided otherwise in these Guidelines).

### Construction Fencing:

- Prior to site clearing, a 1" plastic orange marking tape shall encompass the Natural Preservation Buffer. This tape fence shall be installed with a minimum of 2" x 4" pressure treated wooden stakes at a minimum of 2'- 0" penetration.

### Drainage:

- Each homesite shall be individually analyzed to determine the drainage requirements to protect the Natural Preservation Buffer and other property in Collier's Reserve.

## Section D: Site Design Standards

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### Driveways:

- Driveways shall be between ten (10'- 0") and twelve (12'- 0") feet wide.
- Must be constructed with pavers. Only clay and concrete pavers are allowed.
- A circular driveway may be considered by the ARC under the following conditions:
  1. A homesite not abutting another homesite on one side.
  2. A corner homesite.
  3. A homesite with a minimum front width of 125 feet.

### Site Lighting:

- In general, site lighting shall be low glare lighting designed and compatible with the upscale image of Collier's Reserve.

## Section E: Architectural Standards

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1. Design Intent
2. Building Elevation and Details
3. Roofs
4. Eaves, Overhangs, and Soffits
5. Materials, and Colors
6. Lanais, Screen Enclosures, Swimming Pools, and Spas
7. Accessory Structures and Other Misc. Elements
8. Building Lighting
9. Architectural Summary

# Section E: Architectural Standards

## 1. Design Intent

The architectural theme of Collier's Reserve exhibits characteristics of Southwest Florida. The footprint of all buildings shall be designed to be compatible with the existing vegetation and the adjacent Structures. All Structures within Collier's Reserve shall complement their surroundings. The horizontal landforms, local climate, and subtropical vegetation, shall dictate the location and form for all Work. The Reviewer may disapprove plans if in its judgement, the massing, architectural detailing, roof line, exterior materials, colors or other features of the building do not meet these standards.

### **Building Footprint:**

Special attention shall be given to scale and proportion. The Reviewer shall review each dwelling to make sure that an appropriate scale is achieved.

### **Street Presence:**

In order to eliminate repetitive housing types or styles along any neighborhood street, a variety of massing, architectural detailing, roof lines, exterior materials, colors or other features are encouraged. Each housing type shall have a minimum two car garage and shall encompass a minimum of 3,000 Square Feet of enclosed air conditioned space, excluding garages, terraces, porches, utility areas, etc.

No two buildings when placed side by side shall be designed in the exact same style and/or same color combination.

## Section E: Architectural Standards

### **Massing, Building Form, and Height:**

Equal attention to both mass and elevations must be given to all sides of the Structure while respecting the existing context of the Community. The Home's massing shall be developed for the uniqueness of the Lot and take into account views, nature, and the existing context of its surroundings. The elevations shall be developed based on the massing, site constraints/opportunities, and programmatic elements.

Fenestrations, which is the arrangement of window and doors on the elevation, shall be developed to work with massing, views, site orientation, program, and overall design aesthetics. Buildings will be required to have an overall balance to the proportion of the Structure to the site is of major importance in this Community. Sloped rooflines with variations in height and mass are encouraged. Volumetric variation with the inclusion of detail elements will result in an exciting composition, with a graceful transition from the natural grade to the highest portion of the Home. The scale relationship of each building component shall relate to the overall massing.

Introducing characteristics such as steep roofs, shingles, dormers, double hung large windows, or architectural detailing is encouraged to customize the mass of individual Homes. These roof features such as chimney, windows, walks, etc., shall be permitted above the maximum at the discretion of the ARC, provided they are in keeping with style, massing of the building and its surrounding.



## Section E: Architectural Standards

Building height shall not exceed thirty feet (30'- 0") above finish first floor elevation.

Building heights shall be calculated to the median point between the roof fascia and the roof peak.

### 2. Building Elevations and Details

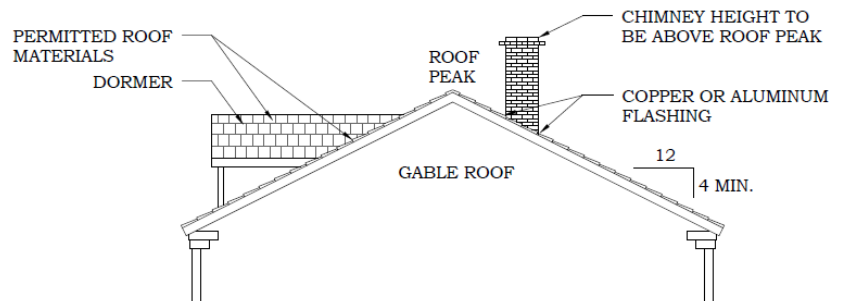
Equal attention to detail and architectural definition must be given to all sides of the building, including but not limited to the foundations, accent materials, roof character, and window treatment. Retaining walls, planter walls, and privacy walls shall be used to break-up the elevation of a building and help relate the Structure to the ground. The massing of buildings is simple, with great attention to detail.

Miscellaneous details such as window and door molding, soffits, fascia, deck railing, ground level screening, and chimneys shall have commonality in materials and color to unify the appearance of the Home. Imitation materials are discouraged. Although individuality of Homes is promoted, all exterior detailing, on Homes or guest homes, shall in some shape or form be consistent or complimentary. Exotic detailing is discouraged. All fences and walls shall be an extension of the house and function as defining space or screening objectionable item.

## Section E: Architectural Standards

The following architectural elements shall be considered in the design of a residence, Work, or Structures:

- Varying roof heights.
- Mix of hip, gable for roofs, flat and varying slopes.
- Windows and/or doors appropriate to the design of the building.
- Decorative shutters.
- Encasement windows with mutins.
- Recessed windows.
- Wrought iron or cast stone balustrades and details.
- Cantilevered balconies.
- Porches, and courtyards.
- The appearance of “thick” walls.
- Decorative chimneys or tower-like elements.
- Exposed rafter tails.



## Section E: Architectural Standards

- Planters, pergolas and trellises.
- Textured “hand-troweled” wall finish or smooth stucco with banding.
- High-profile tile roofs.



### Windows/Awnings/Shutters:

The climate of Southwest Florida dictates the use of quality product, windows, and exterior doors are not the place to economize in this area. Energy efficient window design is required. Windows constructed of near clear glass are encouraged. Tinted windows are permitted in subtle shades.

Windows shall be of a style and material to compliment the overall building style. Windows shall be single hung, double hung, awning, casement, or fixed glass windows. Frames and hardware are to be of anodized or painted aluminum, wood, or wood clad with vinyl or aluminum. Colors of all window components shall compliment the building facade.



SINGLE HUNG, DOUBLE HUNG OR CASEMENT WINDOWS

## Section E: Architectural Standards

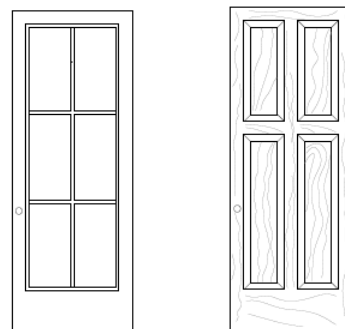
In order to achieve an appropriate appearance, the glass plane of all windows shall be recessed a minimum of three inches (3") from the exterior surface plane of the wall, or at the discretion of the ARC, recessed a minimum of three inches (3") from a heavy surround or other architectural treatment.

Windows shall provide architectural detailing or be banded. Window openings that follow classic geometry which include both rectangular and radius-top shapes are encouraged.

### Doors:

Doors shall be of a style and material to compliment the overall building style. Doors constructed of wood (or wood looking) that are appropriate to the style of the residence are encouraged.

Doors shall be constructed of either metal, wood, wood/glass, or manmade materials with appropriate finish. Exterior sliding doors are not permitted except on rear and side elevations (not visible from street).



### Balconies:

PAINTED METAL    WOOD

Balconies are an integral element of many Collier's Reserve Homes. Wrought metal railings or stone/precast balustrades are traditional elements along with cantilevered or supported construction details.

## Section E: Architectural Standards

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### **Garages and Garage Doors:**

All housing Structures shall provide a garage with a minimum capacity of two (2) automobiles. Golf carts are prohibited from being stored outside.

Garages shall be architecturally integrated with the main Structure, using similar massing, facade treatments, and materials. Garage doors shall either be architecturally compatible with the Home or blend into the background.

All garage window and exterior door treatments shall be consistent with window and door treatments throughout the main Structure.

### **Porches, Loggias, and Verandas:**

Porches, loggias, and verandas should be designed to take advantage of prevailing breezes, create shade, enable the main structure to receive cooling breezes, and extend the indoor living to the outside. Materials shall be used to complement the Collier's Reserve architecture of the Home.



## Section E: Architectural Standards

### **Hurricane Shutters/Screens**

Hurricane (impact) windows and glass are preferred. Hurricane shutters and screens when used shall be of a similar material color and design generally accepted as complementary to the exterior of the dwelling. No hurricane or storm shutters shall be installed unless they have been approved by the ARC. Owners who depart Collier's Reserve for the summer, can lower hurricane shutters from June 1 to November 15; otherwise hurricane shutters shall remain open at all times except in the event that a storm warning has been issued by the National Weather Service or a similar emergency.

### **3. Roofs**

The roof appearance is of major importance to each housing type. The slope of the main roof Structure shall not be less than 4:12 slope. Secondary Structures (porches, breezeways, etc.) can be sloped less but flat is discouraged. Rooflines with slopes of less than 4:12 feet will be reviewed on an individual case basis. The relationship of the proposed roof to the overall design composition and the site will be considered. The combination of roof slopes and roof planes shall create a balanced visual relationship to the building Structure.

Overhangs may vary as necessitated by architectural design. Flat roofs are not allowed as a major structural element, however are allowed with a parapet roof as a secondary element. The typical Collier's Reserve roof overhangs protect from the sun and rain, and along with trellises, will provide passive energy conservation. Roofs shall typically have a minimum overhang of 2 feet on the eave and 1 foot on gable ends.

## Section E: Architectural Standards

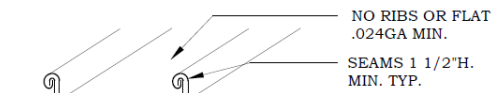
Fascia must be a minimum of 10", unless approved otherwise by the Reviewer. No metal fascia are allowed. No fiberglass or asphalt shingles will be allowed. Roof tiles must be of a high profile design or flat.

Roof materials are as important as slope to the overall roof appearance. Attractive natural materials in warm, earth tones are encouraged. Roof materials which appear artificial or shiny, will not be approved. When using metal roofs, only traditional standing seam roofs will be allowed. Metal roofing materials that appear or are in there raw (grey or silver) form are not acceptable, except for copper.

*\*Brightly painted metals are not permitted.*

### Suggested Roofing and Materials:

- High profile "S" - shaped roof tiles in either terra cotta or concrete dyed in warm earth tones.



- Slate.



- Roof colors shall be appropriate to the design of the Home and complimentary to the neighboring residence. The ARC strongly discourages Owners from selecting/using the color black for roof tiles.

STANDING SEAM METAL ROOFS  
NO "RAW" LOOKING METAL / SILVER / GRAY OR BRIGHT COLORS

- Copper and other Ribbed metals (except unfinished aluminum) left to weather to their natural patina may be used as accent roofing materials. All ribbed roofing must be standing seam with a minimum of 1.5 inch and maximum of a 2 inch seam, .024 gauge minimum, and

## Section E: Architectural Standards

a maximum of two ribs between seams. Minimum width between seams is 12 inches and maximum is 16 inches.

### **Roofing Material Not Permitted:**

- Rolled asphalt.
- Asbestos cement shingles.
- Brightly colored, raw metal, or looking unfinished metal (i.e. silver/gray colored).
- Asphalt/fiberglass shingles.
- Wood shingles or shakes.

### **Roof Accessories:**

The use of major rooftop elements such as dormers, chimneys, or skylights shall enhance and be an integral part of the roof form. The features shall not have an obtrusive add-on appearance.

All rooftop equipment must match roofing colors and be placed as inconspicuously as possible, preferably located on the rear elevation and the Reviewer may require that such equipment be screened to reduce its visual impact. Flashing shall be copper or aluminum and match the color of the roof or fascia.

All extraneous roof, vents, and accessories shall be painted to match the color of the roof.

## Section E: Architectural Standards

### Chimneys:

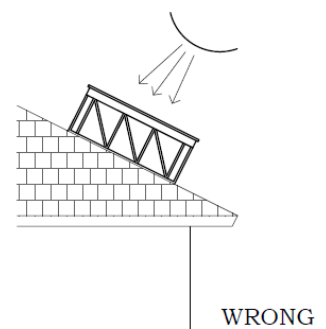
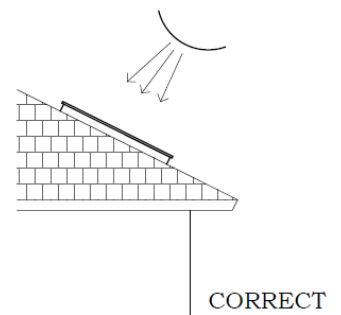
All chimneys must match the house in style, material, and color. It is encouraged that chimneys are designed and detailed to enhance the roofline. Chimneys are an important part of the architectural statement of each housing type. Their location and massing shall be in keeping with the architectural style of the house. Chimney finishes are restricted to brick or stucco over masonry. No metal fireboxes are permitted unless encased in masonry surrounds. Interesting but appropriate detailing at the chimney peak is required.

Chimney locations shall be integrated into the building Structure so as to not appear obtrusive. The chimney color shall be complimentary to the color of the building Structure, the use of accent masonry, or stone is encouraged only if the work is consistent throughout the chimney area.

### Skylights and Solar:

The location of solar energy producing devices (active and/or passive) are subject to approval of the ARC. The view from the street, golf course, or adjacent properties should be minimized.

Additional landscape buffering may be required. All skylights and solar collectors shall be incorporated into the form of the roof and become an integral part of the roof structure.



## Section E: Architectural Standards

Visual impact shall be minimized by mounting flush to the roof and located so not visible from the street. All non-glass materials shall be painted consistent with the color of the roof.

### **Solar Integrated Shingles:**

As solar integrated shingles, becomes readily available they will be reviewed on a case by case basis, provided it is a fully integrated tile system and is compatible with the Community look.

### **4. Eaves, Overhangs, and Soffits**

These elements are an extension of the roof and as such require attention with the overall design and aesthetics of the Home. Sizes, shapes, material, and design are also an extension of the design language of the Home and thus are not prescribed in great detail here, but will be required with the submission. Lack of coordination with the overall design concept of the residence may result approval in delay.

Roofs should typically have a minimum overhang of 2 feet on the eave and 1 foot on gable ends.

Fascia must be a minimum of 10", unless approved otherwise by the Reviewer.



## Section E: Architectural Standards

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### **Soffit:**

No metal or vinyl soffits are allowed.

\*Exterior use of animal deterrents is not allowed, this includes but not limited to netting, CD's, and other measures.

### **Gutters and Downspouts:**

Exposed flashing, gutters, and downspouts must be approved and painted to match the fascia and walls of the house, or made of copper and left to weather to a natural patina. No exposed attachment straps will be allowed.

All gutters and downspouts shall be placed to control roof surface runoff while maintaining the flow of building lines. All downspouts shall be located at building corners, or concealed.

All gutters shall have water tight connections to downspouts. Downspouts shall not be connected to the sanitary sewage collection system. All gutters and downspouts shall be painted to match building facade or trim.

## Section E: Architectural Standards

### 5. Materials and Colors

The ARC will pay particular attention to exterior colors and textures. Natural materials such as stone and wood inherently work well with their surroundings, as do manmade materials of natural color. Raw metal materials will be subject to review as these may not be appropriate for the Community.

Large expanses of a single material, especially if unbroken by detail or depth, can become overpowering to the rest of the building form and surroundings. On the contrary, the use of too many different materials or textures can create confusion and distract from an otherwise good design.

Homes adjacent too, or across from, will not be allowed to have the same/similar colors schemes unless reviewed and approved by the ARC.

#### Exterior Colors:

Neutral earth tone color schemes are encouraged, colors such as warm grays, taupe, beiges, tans, etc. (See Appendix-B for Body Trim and Accent color ranges). This reserved background can then be enlivened with light valued trim and rich accent colors on doors and windows, neutral schemes are refined and elegant and compliment the natural environment



Color is an intricate part of the house and landscape. Warm earth tones improve with age and are evocative of Collier's Reserve Homes. Bright (primary/secondary range of colors) colors or pure white is prohibited.

## Section E: Architectural Standards

Example of approvable whites:

SW 7626 Zurich White	SW 7636 Origami White	SW 6168 Moderne White	SW 7551 Greek Villa
SW 7627 White Heron	SW 7021 Simple White	SW 7014 Eider White	SW 7100 Arcade White
SW 6070 Heron Plume	SW 7008 Alabaster	SW 7637 Oyster White	SW 7102 White Flour
SW 7010 White Duck	SW 7003 Toque White	SW 6385 Dover White	SW 6098 Pacer White
SW 7011 Natural Choice	SW 7013 Ivory Lace	SW 7009 Pearly White	SW 6105 Divine White

Examples of prohibited whites:



*\*Sherwin Williams colors and used only as a guide.*

**Stucco:**

Stucco shall provide texture and richness to wall surfaces.

## Section E: Architectural Standards

### **Metal:**

Decorative use of metal must be wrought iron or aluminum and finished black, dark bronze, or copper verdigris. Standing seam metal roofing will not be approved unfinished or looking unfinished except when copper is used.

### **Stone Expression:**

Stone shall accentuate the style of the Home with both material and type of application.

### **Permitted Materials:**

Painted stucco in natural earth tones or off-whites and anodized or paint finish are required on all metal surfaces including windows, flashing, drips, and caps, in colors matching the approved trim colors.

- Fascia must be constructed of cedar or redwood, painted to match the approved trim color. The ARC may approve other fascia materials comparable to cedar or appropriate to the Home.
- Wood clapboard in small to medium amounts, as accents, may be approved by the Reviewer when used with transitional design concepts.
- Soffits must be of wood or stucco. Metal and vinyl soffits are prohibited.

## Section E: Architectural Standards

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- Foam products used on the exterior of buildings shall be installed to meet industry standards to ensure quality construction and be located in appropriate areas.
- Brick work
- Vinyl, wood, or metal siding is prohibited.
- Stone

### **Non Permitted Materials:**

- Aluminum, or steel siding or soffits.
- Plywood or T-1-11 plywood as an exterior component to a Structure.
- Asbestos siding.
- Composition siding.
- Imitation brick.
- All plastics.
- Exposed block masonry.
- Metal roofing material that is not finished except for copper.

## Section E: Architectural Standards

### 6. Lanais, Screen Enclosures, Swimming Pools, and Spas

Screened lanais and pool enclosures are allowed in the rear of the dwelling and shall be architecturally integrated with the dwelling. Courtyard style homes are allowed screened lanais on the side and middle of the residence. Boxy forms that overwhelm the site and mask the architecture of the dwelling are not allowed. Graceful forms that complement the architecture of the house are encouraged. Lanai framing and screen fabric must be bronze or charcoal in color.

All swimming pools, spas, and hot tubs shall be constructed in ground and shall be located within the rear yard. Courtyard homes may deviate from this rear yard requirement, provided it is approved by the ARC. These facilities must comply with all local and Collier County codes.

Unless within a screened enclosure, all swimming pools, spas, and hot tubs are required to be secured by a four (4') foot wall or fence (minimum) which helps deter inadvertent passage by visitors or passers-by.

Acceptable deck surfaces include textured concrete, wood, indigenous stone, outdoor tile, or concrete pavers. All decks shall be constructed in a manner consistent with the style of the main house Structure.

Play equipment will be allowed within the Building Envelope in the rear yards only. Approval of the ARC is required for the installation of basketball equipment to insure their use will not be a nuisance to adjacent Owners.

## Section E: Architectural Standards

### 7. Accessory Structures and Other Misc. Elements

Accessory Structures shall be permitted only as an integral part of the main house Structure within the building envelope. Exterior materials used on accessory Structures shall be consistent with those of the main house. Accessory Structures shall be oriented so that their access is to the side or rear yard and their opening does not directly face the street.

Owners shall secure Reviewer approval prior to construction of any accessory building or permanently installed playhouses, dog runs, etc.

Accessory buildings shall meet the following criteria:

1. An accessory building must be of the same color, material and architectural style as the main residence or of color, material, and style that is generally recognized as complimentary to that of the main residence. An accessory building's roofing materials shall match those of the main residence.
2. Any utilities servicing accessory buildings shall be installed underground.
3. Accessory buildings generally shall be located in the rear one third of the yard as long as it does not front onto a street, shall not unreasonably obstruct any adjacent neighbor's views of the golf course or open areas, and must be screened by vegetation. Auxiliary Structures, such as guest houses, shall be integrated with the main house by hard surfaces, trellises, pool decks, etc.
4. Freestanding accessory Structures including metal sheds and their equivalent are strictly prohibited.



## Section E: Architectural Standards

5. Fountains, sculptures, and other miscellaneous items are encouraged as part of an integrated experience. These items are meant for the Owner's enjoyment and not for the enjoyment of the Community. The accessory element shall be close to the Home, landscaped away from the street, scaled, and colored appropriately.
6. Freestanding flag pole no more than 20 feet high is allowed. Flag pole color shall be black or displayed. One additional flag equal in size or smaller of the official flag of the State of Florida or the United States Army, Navy, Air Force, Marines, Coast Guard or a POW-MIA flag may also be displayed. Flag pole location, size, color, and displayed flags shall be reviewed by the ARC for compliance.
7. The ARC must review any and all items that change the exterior look of a building or homesite. If an item is questionable, please feel free to contact the ARC for clarification.

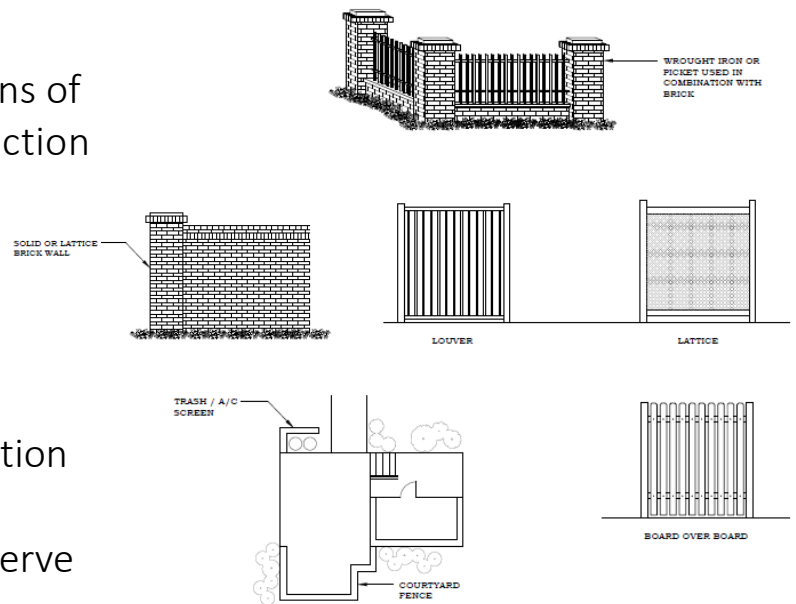
### **Carports and Porte Cocheres:**

Carports are not allowed. Porte Cocheres are allowed provided they are scaled appropriately and are consistent with the style of the Home. Permanent parking underneath the Structure is not permitted.

## Section E: Architectural Standards

### Fences/Walls and Gates:

Fences and walls shall be extensions of the main house Structure and function as defining the space or screening objectionable items. The face of the street side fence/wall shall be set back 5'-0" from the street side face of the house. Fences/walls shall not function as property line markers and are prohibited within the Natural Preserve Buffer and the utility drainage easements.



FENCES AND THEIR USES

Fences can be useful design elements to screen utility areas or other objectionable site elements, stand as a planting backdrop, provide privacy for outdoor spaces, control accessibility of pets and children, reduce wind and provide sun "pockets," and identify and emphasize entries. Fences and walls must harmonize in character and color with the house. Fences and walls shall not exceed six feet (6'-0") in height above finished grade. Gates and other features shall be of compatible design and color to the wall of fence treatment.

Taller fences and walls shall be located to the side or rear of the house. Lower fences or walls shall be used on the street side of the main Structure.

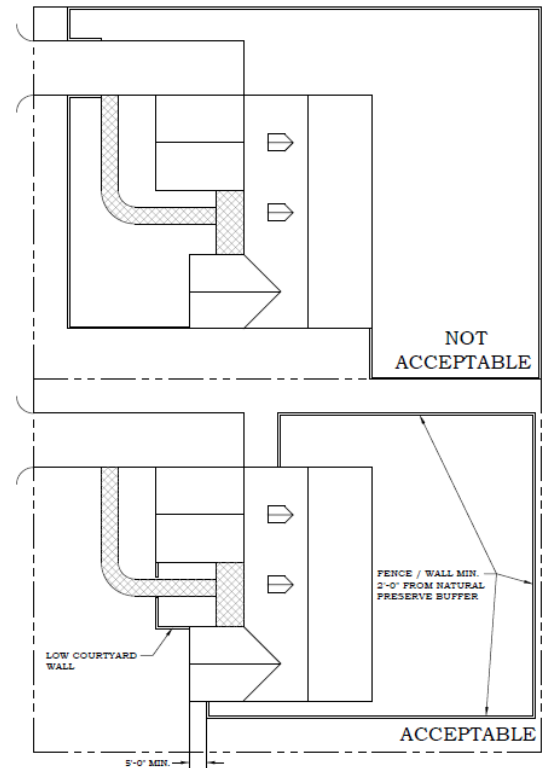
## Section E: Architectural Standards

Acceptable materials shall be brick, stucco covered masonry, custom wood, and metal picket style fencing. Colors shall be consistent or complimentary to colors used on the main house Structure.

Prohibited materials include:

- Plastic
- Chain link
- store bought wood fencing

Plantings shall be used to soften the fence/wall and its location on the site shall be selected to be unobtrusive from the road and surrounding properties and golf course.



### Mechanical Equipment, Antenna, and Satellite Dishes:

Mechanical equipment such as pool equipment, meters, switches boxes, vents, generators, air conditioner equipment, shall be located to minimize their visibility. Air conditioner condenser units shall be integrated into the main house and or landscape design. The goal is to make these elements disappear. Vegetative screening of mechanical enclosures is required. Window mounted air conditioners are not permitted. All exterior utility equipment shall be screened from view of other residences, the street, and the golf course.

## Section E: Architectural Standards

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All utility cables, pipe fittings, etc. should be installed and maintained underground where possible, and when located on the wall of the Home shall be painted to match adjacent surface.

### **8. Building Lighting**

#### **Outdoor Building Lighting:**

All housing Structures are permitted a maximum of four (4) surface mounted exterior lights per facade to light doorways, porches, etc., not to exceed twelve (12) lights total on housing Structure. Concealed or recessed light sources are not limited in number, and are encouraged wherever possible.

Housing light fixtures shall not project above the fascia or roofline. The style, materials, and color of the light fixture shall be consistent or complimentary to the facade treatment, materials, color and on the site. All exterior lighting shall be dark sky compliant.

## Section E: Architectural Standards

### 9. Architectural Summary

While the Design Guidelines are intended to provide a framework for new Home construction and renovation, the Design Guidelines are not all-inclusive. In its review process, the Applicable Reviewer may consider the quality of workmanship and design, harmony of external design with existing Structures, neighborhood and location in relation to surrounding Structures, topography, and finished grade elevation, among other things. Opinions with regard to aesthetics are necessarily subjective and therefore may vary. Individual interpretations of these Design Guidelines and the Declaration may also vary. In every case, an application must be submitted and reviewed in order to consider specific implications of location and impact on surroundings. Each application is reviewed on an individual basis. There are no automatic approvals.

#### **Massing Building Form and Appearance:**

- In order to eliminate repetitive housing types or styles along any neighborhood street, a variety of housing types are encouraged.
- No two buildings when placed side by side shall be designed in the exact same style and/or same color combination.
- Equal attention to both mass and elevations must be given to all sides of the Structure while respecting the existing context of the Community.
- Equal attention to detail and architectural definition must be given to all sides of the building, including but not limited to the foundations, accent materials, roof character, and window treatment

## Section E: Architectural Standards

### Material and Color:

- The ARC will pay particular attention to exterior colors and textures. Natural materials such as stone and wood inherently work well with their surroundings, as do man-made materials of natural color and materials.
- Color is an intricate part of the house and landscape. Warm earth tone color schemes are encouraged.
- Bright or pure white is prohibited.
- Homes adjacent too, or across from, will not be allowed to have the same/similar colors schemes unless reviewed and approved by the ARC.

### Roofs:

- The roof appearance is of major importance to each housing type. The slope of the main roof structure shall not be less than 4:12. Secondary Structures (porches, breezeways, etc.) can be sloped less.
- Roofs should typically have a minimum overhang of 2 feet on the eave and 1 foot on gable ends.
- Fascia must be a minimum of 10", unless approved otherwise by the Reviewer.
- No metal or vinyl soffits are allowed.

## Section E: Architectural Standards

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### Windows:

- Windows shall be of a style and material to compliment the overall building style.
- No reflective glass, glass block, film, or tinting may be used on facades facing or seen from the street.
- Windows shall provide architectural detailing, such as shutters, sills and banding.

### Lanais/Screen Enclosures:

- Screened lanais and pool enclosures are allowed in the rear of the dwelling and shall be architecturally integrated with the dwelling.

### Fences/Walls and Gates:

- Fences and walls shall be extensions of the main house Structure and function as defining the space or screening objectionable items.
- Fences and walls shall be made of materials consistent or compatible with the material of the main house Structure.



## Section E: Architectural Standards

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### **Accessory Structures, and Others Misc. Elements:**

- Accessory Structures shall be permitted only as an integral part of the main house Structure within the building envelope.
- Mechanical equipment such as pool equipment, meters, switches boxes, vents, air conditioner equipment, shall be located to minimize their visibility.

## Section F: Landscape Standards

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1. Intent
2. Planting Plan
3. Planting List
4. Irrigation Design
5. Garden Features
6. Swimming Pools and Spas
7. Landscape Summary

## Section F: Landscape Standards

### 1. Intent

It is intended that nature be an integral design component of the dwellings in Collier's Reserve along with the principles of Florida Friendly Landscapes (FFL). Florida Friendly Landscaping means using low maintenance plants and environmentally sustainable practices" (Please see appendix "F" for additional information).

Garden elements such as fountains, pergolas and trellises are encouraged within courtyards or close to the dwellings.

The landscape shall be carefully designed and detailed to heighten one's sense of nature as well as to promote health of the plant species within Collier's Reserve. Design which incorporates FFL principles to conserve water is required.

The level of plantings will depend upon several factors including the individual characteristics of each Lot, as well as the amount of existing plants on the Lot that can be preserved. Landscape plantings must be commensurate with the appearance and style of the dwelling and be consistent with Collier's Reserve requirements. Each Lot shall be evaluated individually during Design Review process to ensure that adequate plantings exist, or will be installed. Applicants are encouraged to contact the ARC regarding the appropriate design considerations for his/her particular Lot.

## Section F: Landscape Standards

### **Streetscape:**

Each Owner is responsible for the installation and maintenance of the streetscape of their home site.

This frontage includes the landscape between the property line and the edge of the road pavement. Edge conditions at the street and the property shall be maintained with grass, mulch and/or hedges. No other material will be allowed without approval of the ARC.

In addition, each Owner located on a lake/water is responsible for the maintenance of the landscape (both turf and vegetation) between the dwelling and the water's edge.

Lake Bank modifications are prohibited.

### **2. Planting Plan**

The planting plans show how preserved stands of native species around the periphery of the dwelling site to the extent possible. The plantings adjacent to the house, accessory Structures and within courtyards are encouraged to exhibit Florida Friendly Landscaping. Foundation plantings are encouraged to be simple and reflective of the residential landscapes of Southwest Florida. The plant list for Collier's Reserve includes many species which will help your landscape architect/Designer achieve the look of a Collier's Reserve garden without looking unnatural or out of place. Nodes of color at entrances and within garden rooms are encouraged.

## Section F: Landscape Standards

A site plan indicating the location of the dwelling, all exterior elements (clearly labeled), and a landscape plan must be submitted as a part of the application. Landscape plans must show existing areas to be left undisturbed, proposed planting areas, sodded areas, and all locations of trees.

Final plans must include a plant list of the common names, plant sizes, quantities, plant grade, and spacing. The planting plans shall be a minimum 40 % native\*, 40 % from the Plant List, and 20 % discretionary plants, provided they are not on an invasive or restricted list.

For large projects, the ARC may require a Protected Animal Species survey be completed by a certified Biologist and a report submitted for the review process. This is necessary to comply with the Florida Fish and Wildlife Conservation Commission (FWC) regulations.

Examples of typical drawings are available for review, upon request, at the Reviewer's office or the Collier's Reserve Community Association.

*\*Native plants as defined plant count and by:*

1. South West Florida Water Management guide.
2. Florida's Best Native plants (Gil Nelson).
3. A Gardeners Guide to Florida Native Plants (Rufino Osorio).

## Section F: Landscape Standards

Lawn grass, while not encouraged in large areas, shall be St. Augustine species (Floritam, Bitter Blue, and Seville) or Zoysia. Bahia is not allowed as a lawn grass. Limited gravel or rock may substitute as a ground cover, lawn, or mulch with ARC approval. Crushed Shell is not allowed.

Shrub masses can be used to channel winds, buffer intruding noises and views, and screen private areas. All shrub plantings shall be massed in groupings of three or more plants. Linear hedges or box-clipped shrubs may be allowed on a case by case basis within the buffers. However, ornamental clipped shrubs adjacent to the house or within garden rooms and courtyards are allowed to accentuate architectural elements and balance blank wall areas.

Views from the roadways, lakes and golf course toward a landscaped yard shall complement the appearance of the existing natural vegetation.

All front, side and rear building setback areas must be landscaped and should contain primarily native plants. Ornamental plantings may be used close to the dwelling.

The existing native trees and shrubs may be trimmed or shaped to accept the landscape design. Upon receiving the Reviewer's approval, all trees to be preserved shall be left undisturbed from the trunk outward to the drip line of the canopy. No fill shall be placed on top of the roots, and palmettos shall be left around the bases of pines to help ensure their survival. Tie-walls and yard drains shall be utilized where necessary to ensure plant survival.

## Section F: Landscape Standards

Pine straws or brown bark mulch, only, must be placed in natural areas to prevent weed growth. Dead material and weeds must be trimmed out of natural areas. To prevent the further infestation and choking of native plants, the following species shall be removed:

Australian Pine  
Punk Tree or Melaleuca  
Brazilian Pepper  
Downy Rose Myrtle  
Air Potato  
Lather Leaf  
Climbing Fern  
Java Plum  
Catclaw Mimosa  
Earleaf Acacia  
Women's tongue  
Laurel Fig

*\*And any as defined by Collier County, and/or the State of Florida*

As the design is formulated, consideration by the Applicant should be given as to whether the Applicant or a landscape maintenance company will be maintaining the residential grounds. After completion of installation, all lawns, plants, and trees must be maintained in a healthy and neat manner. Any changes to the plant palate or plan must be reviewed and approved by the ARC.



## Section F: Landscape Standards

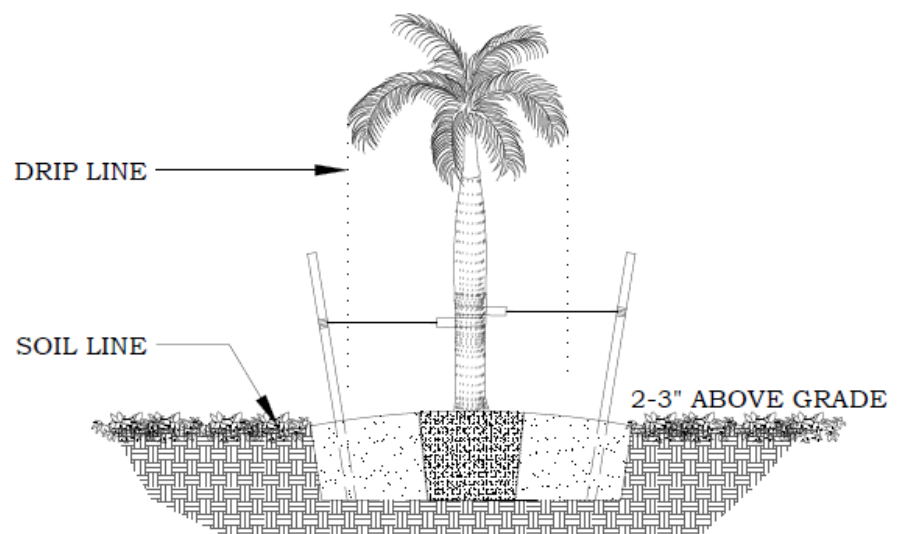
To preserve the existing vegetation and maintain the natural character of the area, stemwall construction is preferred. Stem walls that exceed 3'- 6" may need to provide stem wall terracing to help with the grade transition.

### Drainage:

Drainage of the Lot must conform to the South Florida Water Management District requirements, and Collier County requirements for Collier's Reserve. All drainage and grading must be indicated on the Site Plan as part of the Design Review process and be designed to avoid drainage problems on adjacent property, as well as disruption or damage to the drainage plan for Collier's Reserve.

### Tree Staking:

All trees and palms shall be staked according to industry standards and specifications outlined in the landscape plans and specifications.



## Section F: Landscape Standards

### Site Development Materials:

The beauty of the Collier's Reserve style lies in the integrity of its building materials. Driveway and walkway paving, and other site Improvement materials shall be integral and commensurate with the overall design of the residence. Overall design and colors must be approved by the ARC. Examples of approvable materials are:

- Natural materials such as granite cobbles, limestone, bluestone, slate, brick or concrete pavers.

Plants listed below are grouped according to the desired overall design objectives established for Collier's Reserve. Plants listed in the "Vegetation Not Permitted" are not allowed within Collier's Reserve. Florida native plants not listed here, may be used based on their appropriateness. Designs will be reviewed and approved by the ARC based upon the use of FFL principles and the interpretation of classic Southwest Florida native habitat areas.

### Plant Quality Standards:

Acceptable plant quality standards shall apply to landscape plants used in conformance with this section, all trees and shrubs shall be Florida No. 2 or better as defined in "Grades and Standards for Nursery Plants", Part I and Part II, State of Florida, Department of Agriculture, in the most current edition. Sod shall be free of weeds, diseases, fungus, and vermin.

## Section F: Landscape Standards

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### 3. Planting List

#### Common Name

##### **Large Growing Palms**

Paurotis Palm

Alexander Palm

Bismarck Palm

CoconutPalm

Silver Palm

Canary Island Date Palm

Zahidi Date Palm

Senegal Date Palm

Royal Palm

Sabal Palm

Queen Palm (not allowed in the front yard)

Washington Palm

## Section F: Landscape Standards

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### **Small Growing Palms**

Fishtail Palm

Cat Palm

European Fan Palm

Areca Palm

Sago

Spiny Licuala

Chinese Fan Palm

Screw Palm

Pygmy Date Palm

Lady Palm

Needle Palm

Silver Saw Palmetto

Saw Palmetto

Thatch Palm

Foxtail Palm

## Section F: Landscape Standards

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### **Canopy Trees**

Red Maple  
Hong Kong Orchid  
Shady Lady Black Olive  
Verawood  
Pigeon Plum  
East Palatka Holly  
Jacaranda  
Golden Rain Tree  
Wild Tamarind  
Southern Magnolia  
Yellow Poinciana  
Slash Pine  
Weeping Yew  
Southern Live Oak  
Purple Ruelliz  
Mahogany  
Tabebuia

## Section F: Landscape Standards

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### **Small Trees**

Bottlebrush

Glaucous Cassia

Small Leaf Clusia

Green/Silver Buttonwood

Pigeon Plum

White Geiger

Japanese Fern Tree

Dahoon Holly

Crape Myrtle

Wax Privet

Magnolia or "Brackens" Brown Beauty

Sweetbay

Stopper

Wax myrtle

Cattley Guava

Hawthorne

Eugenia

Tamarindus Indica

Tamarind

Mirror Leaf Viburnum

## Section F: Landscape Standards

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### **Large Shrubs**

Variegated Shell Ginger

Bougainvillea spp. (Limited Locations)

Jamaica Caper

Coco Plum

Green/Silver Buttonwood

Crinum Lily

Dewdrop

Sliverthorn

Cardamon ginger

Brush Cherry

Hibiscus

Wax Pivot

Orange Jasmine

Simpson's Stopper

Wax Myrtle

Myrsine

Oleander

Photinia

Japanese Yew

Podocarpus

Wild Coffee

Indian Hawthorn

Dwarf Schefflera

Desert Cassia

Fakahatchee Grass

Viburnum

Cardboard Plant



## Section F: Landscape Standards

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### **Medium Shrubs and Low Growing**

Dwarf Bougainvillea  
Natal Plum  
Thryallis  
Gardenia Spp.  
Dwarf Holly  
Holly  
Anise  
Ixora  
Jasmine  
Lavender  
Dwarf Oleander  
Xanadu Philodendron  
Pittosporum Green & Variegated  
Leadwort  
Dwarf Hawthorn  
Azalea 'Red Ruffle'  
Texas Sage

### **Ground Cover**

Keys Lily  
Liriope  
Juniper  
Kalanchoe  
Boston/Macho/Fishtail  
PWart Fern  
Mexican Petunia  
Coontie

## Section F: Landscape Standards

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### **Grasses**

Variegated Liriope  
Muhly Grass  
Cordgrass  
White Fountain Grass  
Fakahatchee Grass  
Fla. Gamma Grass  
Sea Oats

### **Patio Plants**

Bromeliads  
Dracaena  
False Bird of Paradise  
Pleomele  
Peace Lily  
Giant Bird of Paradise  
Bird of Paradise

### **Vegetation Not Permitted**

Earleaf Acacia  
Norfolk Island Pine  
Australian Pine  
Punk Tree  
Downy Rosemyrtle  
Brazilian Pepper  
Queen Palm (not allowed in the front yard)

## Section F: Landscape Standards

### **Artificial Turf Grass:**

Artificial Turf is not allowed due to maintaining certificate of an Audubon Signature Sanctuary.

### **4. Irrigation Design**

No private wells will be permitted and no use of lake water for irrigation of Lots is permitted. All irrigation systems must be of an underground automatic type with time clocks, rain sensors, and other related equipment screened from view. Pop-up spray or drip irrigation systems are required, and when exposed pipe extensions are required, they must be painted a dark unobtrusive color.

Proper zoning of irrigation systems is required to comply with FFL principles. A rain shut-off switch is required to prevent irrigation when rainfall is sufficient for landscape watering. A timer is required that complies with South Florida Water Management District water conservation rules.

### **5. Garden Features**

Garden features, such as fountains, statuary and topiaries, shall be in proportion and scale to the Lot, Home, and the neighborhood. These elements must be approved for materials, size, and locations. In addition, the location and materials of all animal housing including, but not limited to, bird baths, and pole mounted bird houses shall be subject to the approval of the ARC.

## Section F: Landscape Standards

### 6. Swimming Pools and Spas

ARC approval is required for the construction of swimming pools and spas. Swimming pools and spas must be located in the rear yard and must be an integral part of the residence unless associated with a courtyard style home, in which case the pool or spa shall be located in the courtyard and screened by walls and landscaping. Landscaping shall be provided around the foundation of the pool or spa walls and must be an integral part of the overall landscape plan. All mechanical equipment necessary for the operation of any pool or spa and must be located in the side yard (unless approved otherwise by the ARC) and shall be screened from the street and neighboring residences/buildings by a wall and landscape material.

Above ground pools are prohibited.

## Section F: Landscape Standards

### 7. Landscape Summary

#### Drainage:

- Lot Drainage must conform to the South Florida Water Management District requirements and Collier County requirements for Collier's Reserve.

#### Planting Plans:

- Each Lot shall be evaluated individually during Design Review process to ensure that adequate plantings exist, or will be installed.
- Final plans must include a plant list of the common names, plant sizes, quantities, plant grade, and spacing. All trees and shrubs shall be Florida No. 2 or better as defined in "Grades and Standards for Nursery Plants."
- Lawn grass shall be St. Augustine species (Floritam, Bitter Blue, and Seville) or Zoysia. Bahia is not allowed as a lawn grass.
- Irrigation plans will be required. All irrigation systems must be of an underground automatic type with time clocks, rain sensors and other related equipment.
- Design which incorporates FFL principles to conserve water is required.

## Section F: Landscape Standards

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### **Streetscape:**

- Each Owner is responsible for the installation and maintenance of the streetscape of their home site.
- Each single-family Owner located on a lake or river is responsible for the maintenance of the landscape (both lawn grass and vegetation) between the dwelling and the water's edge.

### **Swimming Pools and Spa:**

- ARC approval is required for the construction of swimming pools and spas.

## Section G: Construction Standards

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1. Intent
2. Construction Commencement
3. Construction Standards
4. Vegetation Protection and Site Clearing
5. Site Maintenance
6. Hurricane Protection
7. Contractor Parking
8. Construction and Delivery Hours
9. Inspections
10. Construction Summary



# Section G: Construction Standards

## 1. Intent

The following construction standards shall apply to any construction, Improvement, or to any Structure. This also applies to grading, excavating, tree removal, landscaping or any other change to the grounds of a single-family home site within Colliers Reserve. In the event a violation of these Design Guidelines takes place, the construction or Work being performed shall cease until conformance is achieved. Infractions of the construction rules may be cause for fine per infraction and/or suspension or expulsion of a builder, worker or subcontractor from the Community.

There are wetland and wooded areas within the Community designated as preservation areas to be preserved in their natural state. No activity, development, construction, or maintenance is to take place in those areas. Wildlife is not to be disturbed. When the physical construction of any Improvement starts, said construction shall be performed diligently, and completed within a reasonable time.

### **Construction Limitation:**

Construction shall be conducted so it is not injurious or offensive to adjacent premises because of the emission or creation of noise, music, vibration, smoke, dust or other particulate matter, toxic or noxious waste materials, odors, fire and explosive hazard, or glare.

## Section G: Construction Standards

Erosion and sediment control measures shall be established and implemented to control runoff and contain silt within disturbed areas of the construction site. Protection and stabilizing methods for preventing erosion of stockpiled soils shall be included with the landscape plan or grading plan submittal.

Builders and home site Owners shall at all times comply with each and every environmental law, ordinance, rule and regulation applicable to the home site(s) within Collier's Reserve, including hazardous material storage and disposal of hazardous waste. Each builder and home site Owner hereby agrees to indemnify and hold harmless the Collier's Reserve Association, Inc. from any loss incurred by or claim made against the Collier's Reserve Association, Inc. arising by virtue of the builder's or home site Owner's failure to comply with any such applicable law, ordinance, rule or regulation. This including all costs and attorney's fees, and attorney's fees on appeal incurred Collier's Reserve Association, Inc. in defending any such loss or claim.

### **2. Construction Commencement**

Construction shall commence only upon receipt of a written notice from the ARC indicating that final approval has been granted and the proper construction deposit has been submitted.

## Section G: Construction Standards

### 3. Construction Standards

With any construction project that will extend more than one (1) month in duration we require the following:

- A temporary screening (green) needs to be erected to obscure construction materials, portable toilets, dumpster, and job box from the street view. This shall be placed in the front of the lawn and or driveway.
- Construction materials shall be limited to what is needed for that day's work, if materials must be left onsite they must be placed behind the screening.
- Portable toilets must be placed behind the screening.
- Dumpsters must be placed behind the screening, and all materials for discard shall be placed in the dumpster, and not left on the Lot.
- Job box needs to be erected and placed behind the screening.
- Machinery shall be left behind screening or removed daily.
- No advertising of any kind is allowed on the job site, this includes the job box.



## Section G: Construction Standards

- Parking shall be minimized on the street in front of the homesite and not the adjoining homesites. No parking of vehicles on lawns or in areas where a street median is located. Vehicles must be parked on the street and not restrict passage of other vehicles.
- Work hours are Monday-Friday 7:00AM-5:00PM and Saturday 7:00AM-12:00PM. All vendors need to be off property by 5:00PM (Monday-Friday) and Noon on Saturday.
- All contractors, sub-contractors, laborers, vendors and material suppliers (Construction Personnel) need to follow the posted rules of the road.
- Owners and/or contractors need to contact the gatehouse with a list of Construction Personnel for the project.
- All Construction Personnel need to remain on the job site and only leave to access their vehicles. Loitering on the street, sidewalks, or smoking is not allowed.
- All Construction Personnel violating these standards will be escorted off the property and possibly not allowed to return.
- Access Control staff is available if you encounter issues or have any questions at # 239-566-2211, and the Association Manager can also be reached at # 232-254-0862.

## Section G: Construction Standards

### 4. VEGETATION PROTECTION and SITE CLEARING

It is important that all areas shown on plans to be preserved in the existing natural state will be left undisturbed during the construction period. Prior to commencing construction, the builder must erect barricades to protect these natural areas. Wire or plastic fencing must be added to protect these natural areas. Barricade fencing will also be required 5'-0" inside the property lines for any construction/modification area in order to prevent spillage and debris blowing onto the neighboring sites. It will be the financial responsibility of the builder to re-landscape any disturbance of these natural areas and to keep the barricades in good repair. A landscape protection plan shall be submitted outlining barricade details, yard drains, retaining timber walls, and areas to be protected.

When the construction of a dwelling or modification or other work is complete, the landscaping must be installed conforming to the previously approved plans. All construction debris must be removed from the site and the surrounding areas, and the construction site sign and the temporary power pole must be removed immediately. At this time, the Applicant shall notify the ARC that the site is ready for final inspection. Any unauthorized changes to the previously approved plans must be corrected or approved in writing before a final review will be issued.

#### **Nuisances:**

During construction, or the performance of work, all Construction Personnel shall not litter (e.g.: food containers), play loud music, wander around, or bring alcoholic beverages into the Community, or engage in any conduct which constitutes a public or private nuisance.

## Section G: Construction Standards

Builders, subcontractors, material-men and consultants shall not bring into, or allow pets, friends, children, or relatives to enter the Community at any time.

### **Site Clearing:**

Site clearing shall begin only after the following are complete:

1. Protected plant and animal species have been protected or relocated consistent with commitments contained in the Protected Species Section (Page 30).
2. Interior boundaries of the Natural Preservation Buffer have been properly located and fenced including fencing along the limits of the drive-way access corridors per the Natural Preservation Buffer requirements (Page 28 and 29).
3. Existing native vegetation to remain outside the Natural Preservation Buffer has been properly protected and tagged along the limit of disturbance line as identified in the Tree Preservation/ Relocation Section (Page 30 and 31).
4. Existing native vegetation which cannot be preserved has been relocated to Natural Preservation Buffer or nearby Upland Preserve Areas as encouraged in the Tree Preservation/Relocation Section (Page 30 and 31).

## Section G: Construction Standards

The debris from site clearing work shall be disposed of offsite. If any archaeological/historical sites are uncovered during site preparation, clearing or grading activities, work in the immediate vicinity shall cease and the HOA shall be notified immediately, so they may contact the appropriate state and local agencies to determine the significance of the findings.

### **Golf Course and Common Areas:**

At no time shall construction equipment, materials, or personnel associated with construction on any home site enter the golf course or other Common Areas.

### **5. Site Maintenance:**

All sites must be maintained in a clean and orderly manner at all times. A commercial dumpster or containment area is required for each site under construction. All trash and construction debris shall be properly disposed of at the end of each day.

### **Construction Site Appearance**

All portions of the construction site shall be maintained in a clean and orderly fashion throughout the construction process. Construction materials shall be neatly piled to the side or rear of the main house Structure. Daily debris and rubbish shall be contained and removed weekly at a minimum.

## Section G: Construction Standards

The streets adjoining the construction site shall be frequently swept clean of dirt and construction trash as determined by HOA manager in his or her discretion. Adjacent properties, or the Natural Preservation Buffer and all other areas, shall not be used for the dumping of construction debris, dirt, trash, etc. See page 28 for those activities permitted in the Natural Preservation Buffer.

A commercial dumpster is required onsite in order to keep a clean and neat construction site. At the end of each work day, materials must be stored neatly and all construction debris placed in the dumpster. No trash may be strewn about the site or piled openly. It is imperative that all sites be maintained in a clean and tidy manner. All construction materials must be kept within the property lines, maintaining a neat and unobstructed street right-of-way. The storage of materials shall be in an inconspicuous area of the site, and shall be neat and orderly. The use of adjoining properties for access or storage of materials without the written permission of the adjacent Owner is prohibited. Temporary storage Structures, approved by the Reviewer may be used to store materials.

Storage Structures may not be used as living or office quarters. Large construction trailers will not be allowed on residential job sites and any construction trailer must be approved in writing by the ARC. Construction waste must be disposed in dumpsters.

Fabricated wooden bins are not allowed.

The ARC may require a job toilet (either gray, green, or tan) and it must be placed inside the Lot in an inconspicuous location with the door facing away from the street.



## Section G: Construction Standards

Fires are not permitted on residential construction sites under any circumstances. Care shall be taken when loading trucks and hauling trash to prevent spillage while in transit. Builders shall be held responsible for trash and debris falling from construction vehicles or blowing off work sites.

### **Builders Signage:**

Builders shall erect one (1) “Doc-Box” to contain permits, keys, and other elements which must be posted at the construction site and beyond the preserve area. No signage allowed on property.

### **Daily Responsibilities of the Builder:**

The daily responsibilities of the builder shall include the following:

1. Keeping all construction materials and equipment out of open space, lakes, wetlands, or upland buffers.
2. Containment of construction debris in an approved construction debris container.
3. Reduction of blowing debris, sand, and silt by using silt fences.
4. Keep site neat and clean at all times, including hand removal of blown debris and trash on the golf course, lakes, lake banks, and other properties.
5. Maintenance of silt fences.

## Section G: Construction Standards

### 6. Hurricane Protection

Builders and subcontractors shall adhere to all federal, state, and local ordinances and procedures governing hurricane protection and preparation. Upon issuance of a Hurricane Watch or Warning for the construction area, builders, general contractors, and subcontractors shall remove any construction vehicles, equipment, or materials to safe storage outside of Collier's Reserve. Builders and subcontractors shall then take all reasonable measures to secure and protect the construction in progress. The ARC reserves the right to take additional precautions and implement additional protective measures to protect nearby Residents, their Homes and other site features. Expenses for these addition hurricane preparation measures will be deducted from the builder or home site Owner's construction deposit.

#### **Hurricane Preparedness:**

**Hurricane Watch:** A Hurricane is possible within 24 to 36 hours. Tune to local radio and T.V. stations for additional information and advisories. When a Hurricane Watch is issued, the following plan must be executed at least 12 hours prior to the predicted landfall arrival.

#### **Job Site:**

- Close all windows and doors if possible.
- Secure all construction material including roof tiles.
- If Home is at drywall stage or later, nail plywood over openings if windows and doors have not been installed.

## Section G: Construction Standards

- Brace off all trusses securely.
- Cover all framing lumber, band plywood, etc. with plastic, lay block on edge to hold down plastic and cover with dirt.
- Brace all block walls every eight feet (8' - 0") if tie beam is not poured.
- Turn off all power to job.
- Remove all outdoor signs, dumpster, and permit boards.

### 7. Contractor Parking

The Association, and the ARC, their agents and representatives, are held harmless from any claim for damages or loss to vehicles or equipment stored within Collier's Reserve. Contractors shall not park their vehicles on the roadway surface in front of adjoining home sites. Other vehicles including employee vehicles may be parked in designated areas within the main construction yard.

The general contractor shall be ultimately responsible for shuttling workers to and from the home site under construction and for policing the parking of its subcontractors.

### 8. Construction and Delivery Hours

Construction and deliveries shall be permitted only between the following hours:

## Section G: Construction Standards

- 7:00am-5:00pm Monday through Friday
- 7:00am-12:00pm on Saturday

**Construction and deliveries shall not be permitted on Sundays or on the following national Holidays:**

- New Year's Day
- Memorial Day
- 4th of July
- Labor Day
- Thanksgiving Day
- Christmas Day

The ARC reserves the right to require special noise attenuation procedures for construction or delivery activities, which disturb existing residents or effect special project-related events.

### **9. Inspections**

#### **New Construction**

The first inspection shall occur prior to site clearing. The builder shall notify the ARC upon stake-out of clearing limits, and the inspection shall be conducted to ensure conformance with the approved drawings as to the location of the Structure within the site. If the removal of additional trees over 4" in diameter or existing oak clusters becomes necessary, prior approval must be obtained from the ARC. The final

## Section G: Construction Standards

inspection shall be conducted after the completion of the dwelling and installation of landscaping. Periodic inspections may be conducted by the ARC, or its representative, to verify compliance with the approved construction drawings. Final inspection may include the request for additional landscaping to meet the Collier's Reserve standards if the Reviewer deem necessary.

Inspection may be scheduled upon receipt by the ARC of work completion or submission of one (1) copy of a Certificate of Completion (C.C.). Final inspection can only occur if contractors have completed all construction site work and landscaping, cleaned site of debris, and removed the dock box and any temporary utilities. The construction deposit or its balance, will be returned within 30 days of final inspection. If clean up and/or amendments to the construction site need to be made by the ARC their cost will be deducted from the construction deposit.

### **Renovation, Additions, and Other Work.**

Final inspection may be scheduled by the ARC upon notice by the Owner that Work has been completed; as submitted and approved on the design review application by ARC.

## Section G: Construction Standards

### 10. Construction Summary

#### Construction Commencement:

- No construction shall commence without ARC approval.

#### Vegetation Protection/Site Clearing:

- It is important that all areas shown on plans to be preserved in the natural state will be left undisturbed during the construction period.
- All existing native vegetation to remain shall be properly protected.

#### Site Maintenance and Appearance:

- All sites must be maintained in a clean and orderly manner at all times.
- Maintenance of silt fences.
- Street cleaning.
- Screened area for dumpster and porta toilets are required.

#### Hurricane Preparation and Protection:

- Builders and subcontractors shall adhere to all federal, state, and local ordinances and procedures governing hurricane protection and preparation.

## Section G: Construction Standards

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### **Job Site:**

- Job sites will be prepped a minimum of 12 hours in advance of the hurricane to insure the site is secure.

### **Contractor Parking:**

- Contractors and their sub-contractors shall limit parking their vehicles on the roadway surface, and shall not park in front of adjoining home sites.

### **Construction Hours:**

- 7:00am-5:00pm Monday through Friday.
- 7:00am-12:00pm on Saturday.
- No construction on Sunday.

*\*See list of holidays (above) with no construction allowed*

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1. Application Form “A”
2. Color Palate Ranges “B”
3. Plant Material “C”
4. Community Map “D”
5. Riverview Homesite Listing “E”
6. Florida Friendly Landscaping “F”



## Section H: Appendix

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Application Form “A”:

Please fill out all areas that apply to your scope of work and provide N/A (not applicable) to areas that do not apply.

# Section H: Appendix

## Application Form “A”

COLLEIR'S RESERVE	
<b>DESIGN REVIEW APPLICATION</b>	
<b>DESIGN REVIEW APPLICATION</b>	
CONSTRUCTION ADDRESS:	
LOT # / BLOCK #:	_____ / _____
OWNER:	
	Name _____
Street Address	_____
City	_____ State _____ Zip _____
Telephone	_____
Telephone – Alt.	_____
BUILDER:	_____
RESIDENTIAL ARCHITECT:	
	Name of Contact _____
Firm Name	_____
Street Address	_____
City	_____ State _____ Zip _____
Telephone	_____
	Telephone – Alt. _____
LANDSCAPE ARCHITECT:	
	Name of Contact _____
Firm Name	_____
Street Address	_____
City	_____ State _____ Zip _____
Telephone	_____
	Telephone – Alt. _____

1

# Section H: Appendix

## COLLEIR'S RESERVE

This application is being submitted for (check one):

Initial Review ☐

Final Review ☐

### GENERAL INFORMATION

Lot Dimensions:    Width @ front 30' set-back \_\_\_\_\_ feet  
                             Width @ rear 30' set-back \_\_\_\_\_ feet  
                             Depth along left lot line \_\_\_\_\_ feet  
                             Depth along right lot line \_\_\_\_\_ feet

Lot Sq. Ft.: \_\_\_\_\_ Impervious Area (sq. ft.): \_\_\_\_\_  
Impervious Area% (% of total area): \_\_\_\_\_  
Building Area (all areas under cover at ground level): \_\_\_\_\_ sq. ft.  
% of Total Lot Area (building area vs. lot area): \_\_\_\_\_

Building Height:    One Story ☐                      Two Story ☐

Overall Height (from top of slab) \_\_\_\_\_ feet  
1<sup>st</sup> Floor Slab Elevation \_\_\_\_\_ feet  
Building Pad Elevation \_\_\_\_\_ feet  
Elevation @ Crown of \_\_\_\_\_  
Adjacent Road (highest point) \_\_\_\_\_ feet  
# of courses on stemwall \_\_\_\_\_

Building Area:  
1<sup>st</sup> Floor (a/c) \_\_\_\_\_ sq. ft.  
2<sup>nd</sup> Floor (a/c) \_\_\_\_\_  
sq. ft. Net Building Area (a/c) \_\_\_\_\_  
sq. ft. Covered Porches, Entries, Etc. \_\_\_\_\_ sq. ft.  
Garage \_\_\_\_\_  
sq. ft. Accessory Structures, Misc. \_\_\_\_\_  
sq. ft. Gross Building Area \_\_\_\_\_ sq. ft.

Miscellaneous:  
# of Bedrooms \_\_\_\_\_  
# of Bathrooms \_\_\_\_\_

Swimming Pools    Yes ☐                      No ☐

Pool Cage                      Yes ☐                      No ☐

Garage parking (# of cars) \_\_\_\_\_

Roof Pitch \_\_\_\_\_

## Section H: Appendix

### COLLEIR'S RESERVE

#### **EXTERIOR COLORS AND MATERIALS**

<u>Exterior Features</u>	<u>Color/Finish</u>	<u>Material Description</u>
Driveway Pavement	_____	_____
Entry Walk	_____	_____
Siding	_____	_____
Stone	_____	_____
Brick	_____	_____
Stucco	_____	_____
Shutters	_____	_____
Windows	_____	_____
Window Trim	_____	_____
Cast Stone	_____	_____
Entry Door	_____	_____
Patio Doors	_____	_____
French Doors	_____	_____
Garage Door(s)	_____	_____
Roofing	_____	_____
Fascia	_____	_____
Soffit	_____	_____
Gutters	_____	_____
Chimney	_____	_____
Balconies	_____	_____
Pool Deck/Patio Paving	_____	_____
Screen Enclosure	_____	_____
Fencing	_____	_____

## Section H: Appendix

### COLLEIR'S RESERVE

Note: Include color chips, materials, samples of color product photos, etc. with application.

Please refer to Section 7 Paragraph II – D, (Initial Review) or Paragraph II – E (Final Review) of The Founders Club Design Guidelines, for a listing of plans, specifications, and materials required for submittal with this application. This application will not be deemed complete until all required plans, specifications, materials, deposits and fees have been submitted to the DRC as required within this application and the Design Guidelines. Please include a transmittal form with this application, detailing all items submitted.

The preceding application is submitted for review by the ARC (Architectural Review Committee). Required design documents are enclosed, as detailed within the attached transmittal form:

Submitted by: \_\_\_\_\_

Title: \_\_\_\_\_

Firm: \_\_\_\_\_

Date: \_\_\_\_\_

Owner Signature: \_\_\_\_\_

Additional Information may be provided below and/or on additional sheets

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## Color Palette Ranges “B”

Range of color for body and Trim\*

SW 6065 <b>Bona Fide Beige</b> Interior / Exterior Location Number: 196-C2	SW 6066 <b>Sand Trap</b> Interior / Exterior Location Number: 195-C3	SW 6070 <b>Heron Plume</b> Interior / Exterior Location Number: 259-C1	SW 6071 <b>Popular Gray</b> Interior / Exterior Location Number: 242-C1	SW 6078 <b>Realist Beige</b> Interior / Exterior Location Number: 199-C1	SW 6079 <b>Diverse Beige</b> Interior / Exterior Location Number: 196-C2	SW 6085 <b>Simplify Beige</b> Interior / Exterior Location Number: 197-C1
SW 6086 <b>Sand Dune</b> Interior / Exterior Location Number: 197-C2	SW 6098 <b>Pacer White</b> Interior / Exterior Location Number: 267-C7	SW 6099 <b>Sand Dollar</b> Interior / Exterior Location Number: 261-C1	SW 6106 <b>Kilim Beige</b> Interior / Exterior Location Number: 204-C1	SW 6107 <b>Nomadic Desert</b> Interior / Exterior Location Number: 204-C2	SW 6108 <b>Latte</b> Interior / Exterior Location Number: 204-C3	SW 6119 <b>Antique White</b> Interior / Exterior Location Number: 263-C6
SW 6120 <b>Believable Buff</b> Interior / Exterior Location Number: 141-C1	SW 6133 <b>Muslin</b> Interior / Exterior Location Number: 263-C5	SW 6140 <b>Moderate White</b> Interior / Exterior Location Number: 266-C3	SW 6148 <b>Wool Skein</b> Interior / Exterior Location Number: 207-C1	SW 6155 <b>Rice Grain</b> Interior / Exterior Location Number: 210-C1	SW 6385 <b>Dover White</b> Interior / Exterior Location Number: 261-C2	SW 7001 <b>Marshmallow</b> Interior / Exterior Location Number: 267-C1
SW 7008 <b>Alabaster</b> Interior / Exterior Location Number: 255-C2	SW 7009 <b>Pearly White</b> Interior / Exterior Location Number: 254-C2	SW 7013 <b>Ivory Lace</b> Interior / Exterior Location Number: 254-C3	SW 7014 <b>Eider White</b> Interior / Exterior Location Number: 255-C3	SW 7029 <b>Agreeable Gray</b> Interior / Exterior Location Number: 243-C1	SW 7036 <b>Accessible Beige</b> Interior / Exterior Location Number: 245-C1	SW 7037 <b>Balanced Beige</b> Interior / Exterior Location Number: 249-C2
SW 7042 <b>Shoji White</b> Interior / Exterior Location Number: 254-C4	SW 7043 <b>Worldly Gray</b> Interior / Exterior Location Number: 245-C1	SW 7044 <b>Amazing Gray</b> Interior / Exterior Location Number: 245-C2	SW 7103 <b>Whitetail</b> Interior / Exterior Location Number: 261-C1	SW 7501 <b>Threshold Taupe</b> Interior / Exterior Location Number: 250-C3	SW 7506 <b>Loggia</b> Interior / Exterior Location Number: 248-C2	SW 7512 <b>Pavilion Beige</b> Interior / Exterior Location Number: 250-C4

*\*Sherwin Williams colors and used only as a guide. The ARC will review each Home on a case by case basis.*

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<b>SW 7010</b> <b>White Duck</b> Interior / Exterior Location Number: 254-C5	<b>SW 7511</b> <b>Bungalow Beige</b> Interior / Exterior Location Number: 256-C2	<b>SW 7517</b> <b>China Doll</b> Interior / Exterior Location Number: 259-C1	<b>SW 7524</b> <b>Dhurrie Beige</b> Interior Location Number: 250-C3	<b>SW 7526</b> <b>Maison Blanche</b> Interior / Exterior Location Number: 266-C1	<b>SW 7530</b> <b>Barcelona Beige</b> Interior / Exterior Location Number: 255-C4	<b>SW 7531</b> <b>Canvas Tan</b> Interior / Exterior Location Number: 261-C6
<b>SW 7535</b> <b>Sandy Ridge</b> Interior / Exterior Location Number: 255-C5	<b>SW 7543</b> <b>Avenue Tan</b> Interior / Exterior Location Number: 256-C4	<b>SW 7548</b> <b>Portico</b> Interior / Exterior Location Number: 264-C3	<b>SW 7551</b> <b>Greek Villa</b> Interior / Exterior Location Number: 254-C1	<b>SW 7563</b> <b>Restful White</b> Interior / Exterior Location Number: 263-C3	<b>SW 7568</b> <b>Neutral Ground</b> Interior / Exterior Location Number: 261-C5	<b>SW 7570</b> <b>Egret White</b> Interior / Exterior Location Number: 255-C4
<b>SW 7575</b> <b>Chopsticks</b> Interior / Exterior Location Number: 253-C7	<b>SW 7626</b> <b>Windfresh White</b> Interior / Exterior Location Number: 269-C7	<b>SW 7631</b> <b>City Loft</b> Interior / Exterior Location Number: 259-C6	<b>SW 7632</b> <b>Modern Gray</b> Interior / Exterior Location Number: 283-C1	<b>SW 7634</b> <b>Pediment</b> Interior / Exterior Location Number: 255-C5	<b>SW 9087</b> <b>Smoky Beige</b> Interior / Exterior Location Number: 195-C3	<b>SW 9109</b> <b>Natural Linen</b> Interior / Exterior Location Number: 205-C1
<b>SW 9166</b> <b>Drift of Mist</b> Interior / Exterior Location Number: 258-C2	<b>SW 9173</b> <b>Shiitake</b> Interior / Exterior Location Number: 248-C1	<b>SW 9180</b> <b>Aged White</b> Interior / Exterior Location Number: 251-C4	<b>SW 9082</b> <b>Chocolate Powder</b> Interior / Exterior Location Number: 196-C3	<b>SW 9085</b> <b>Touch of Sand</b> Interior / Exterior Location Number: 195-C1	<b>SW 9086</b> <b>Cool Beige</b> Interior / Exterior Location Number: 195-C2	

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### Accent Color Range\*

SW 2801 <b>Rookwood Dark Red</b> Interior / Exterior	SW 2803 <b>Rookwood Terra Cotta</b> Interior / Exterior	SW 2806 <b>Rookwood Brown</b> Interior / Exterior	SW 2807 <b>Rookwood Medium Brown</b> Interior / Exterior
SW 2808 <b>Rookwood Dark Brown</b> Interior / Exterior	SW 2811 <b>Rookwood Blue Green</b> Interior / Exterior	SW 2814 <b>Rookwood Antique Gold</b> Interior / Exterior	SW 2816 <b>Rookwood Dark Green</b> Interior / Exterior
SW 2819 <b>Downing Slate</b> Interior / Exterior	SW 2837 <b>Aurora Brown</b> Interior / Exterior	SW 2845 <b>Bunglehouse Gray</b> Interior / Exterior	SW 2841 <b>Weathered Shingle</b> Interior / Exterior
SW 2847 <b>Roycroft Bottle Green</b> Interior / Exterior	SW 2848 <b>Roycroft Pewter</b> Interior / Exterior	SW 2851 <b>Sage Green Light</b> Interior / Exterior	SW 2861 <b>Avocado</b> Interior / Exterior
SW 6083 <b>Sable</b> Interior / Exterior Location Number: 136-C7	SW 7040 <b>Smokehouse</b> Interior / Exterior Location Number: 249-C5	SW 7068 <b>Grizzle Gray</b> Interior / Exterior Location Number: 236-C6	SW 7520 <b>Plantation Shutters</b> Interior / Exterior Location Number: 277-C1
SW 7525 <b>Tree Branch</b> Interior / Exterior Location Number: 288-C7	SW 7731 <b>San Antonio Sage</b> Interior / Exterior Location Number: 285-C7	SW 7734 <b>Olive Grove</b> Interior / Exterior Location Number: 297-C5	SW 7743 <b>Mountain Road</b> Interior / Exterior Location Number: 247-C7

*\*Sherwin Williams colors and used only as a guide. The ARC will review each Home on a case by case basis.*



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## Plant Material “C”

### Trees and Palms



Shady Lady  
Black Olive



Live Oak



Slash Pine



Orange Geiger



Royal Poinciana



Royal Palm



Sabal Palm



Holly

### Shrubs and Groundcovers



Red Tip Cocoplum



Muhly Grass



Firebush



Fakahatchee



Golden Dewdrop



Walter's Viburnum



American Beautyberry



Coontie



Wild Coffee



Cordgrass



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## Community Map "D"



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### Riverview Homesite Listing “E”:

- 1205 Pocantico Lane
- 1221 Pocantico Lane
- 1237 Pocantico Lane
- 1253 Pocantico Lane
- 1269 Pocantico Lane

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### Florida Friendly Landscaping “D”

Knowledgeable landscape contractors are essential to successfully maintaining Florida-Friendly Landscaping™ (FFL) on community association properties. The University of Florida Institute of Food and Agricultural Sciences (UF/ IFAS) Extension Florida-Friendly Landscaping™ Program, working with UF/IFAS Extension faculty, industry professionals, community associations, and the UF Levin College of Law, has developed the following guidelines and model language for a landscaping contract. The fundamental logic guiding this process has been to create a vehicle that both improves the quality of Florida’s environment and articulates the visions and concerns of individual communities. Florida-Friendly Landscaping™ protects Florida’s unique natural resources by conserving water, reducing waste and pollution, creating wildlife habitat, and preventing erosion. Any landscape can be Florida-Friendly if it is designed and cared for according to the nine Florida-Friendly Landscaping™ principles.

The principles include:

- (1) Planting the right plant in the right place,
- (2) Efficient watering,
- (3) Appropriate fertilization,
- (4) Mulching, (5) attraction of wildlife,
- (6) Responsible management of yard pests,
- (7) Recycling yard waste,
- (8) Reduction of stormwater runoff, and

## Section H: Appendix

(9) Waterfront protection. Additional components include practices such as landscape planning and design, soil analysis, the appropriate use of solid waste compost, minimizing the use of irrigation, and proper maintenance.

In 2009, the Florida Legislature found “that the use of Florida-friendly landscaping and other water use and pollution prevention measures to conserve or protect the state’s water resources serves a compelling public interest and that the participation of homeowners’ associations and local governments is essential to the state’s efforts in water conservation and water quality protection and restoration”. The Florida Friendly Landscaping™ Program provides information and guidance on turf grass and landscape management practices to minimize nonpoint source pollution to conserve and protect Florida’s water resources. Follow the link below to download a model Florida Friendly Landscaping™ Management Contract that can be modified to reflect site-specific conditions and negotiated terms.

[http://ffl.ifas.ufl.edu/materials/Florida\\_Friendly\\_Landscaping\\_Maintenance\\_Contract.pdf](http://ffl.ifas.ufl.edu/materials/Florida_Friendly_Landscaping_Maintenance_Contract.pdf).

For additional guidance, please contact your county UF/ IFAS Extension office